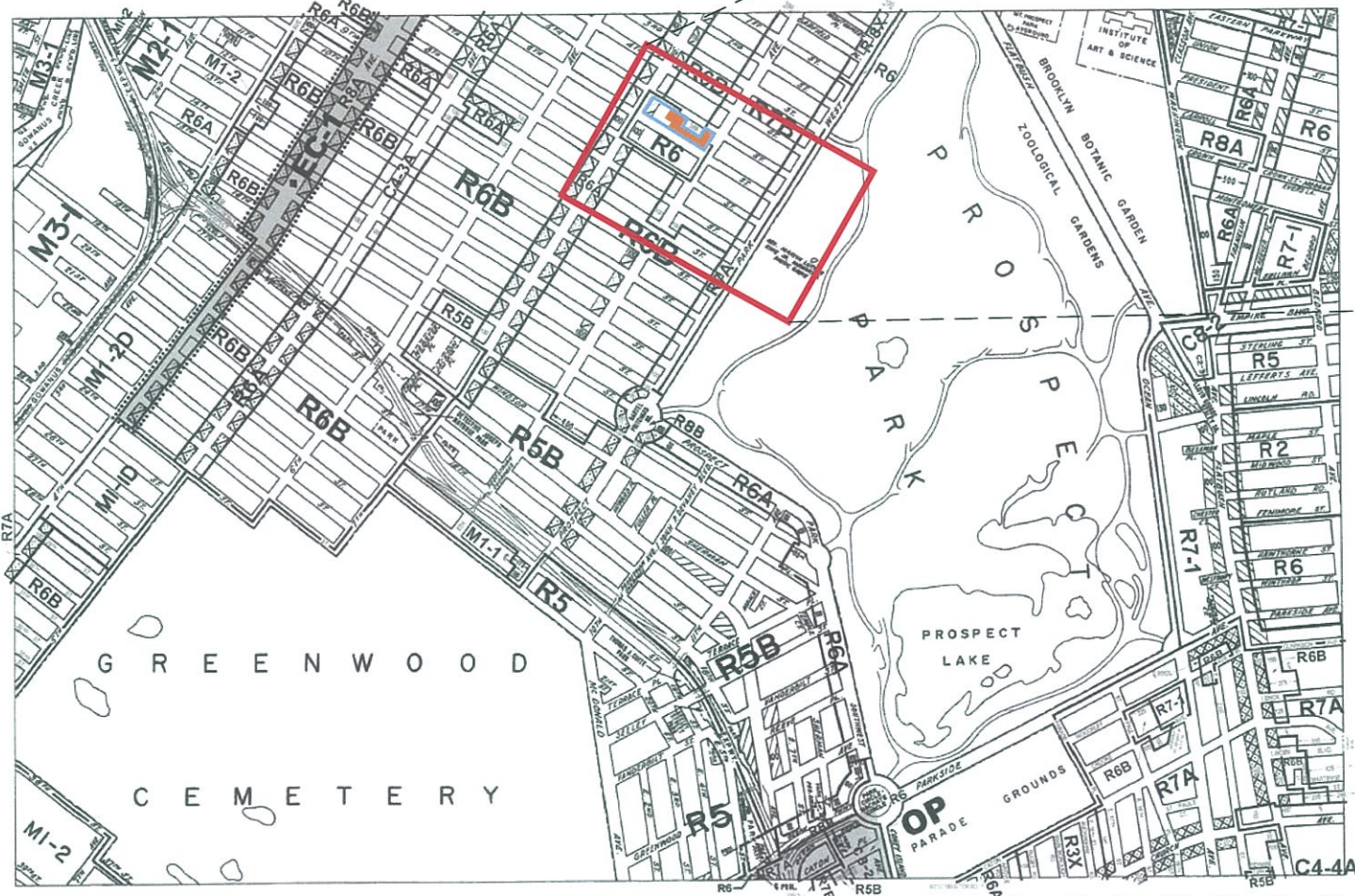
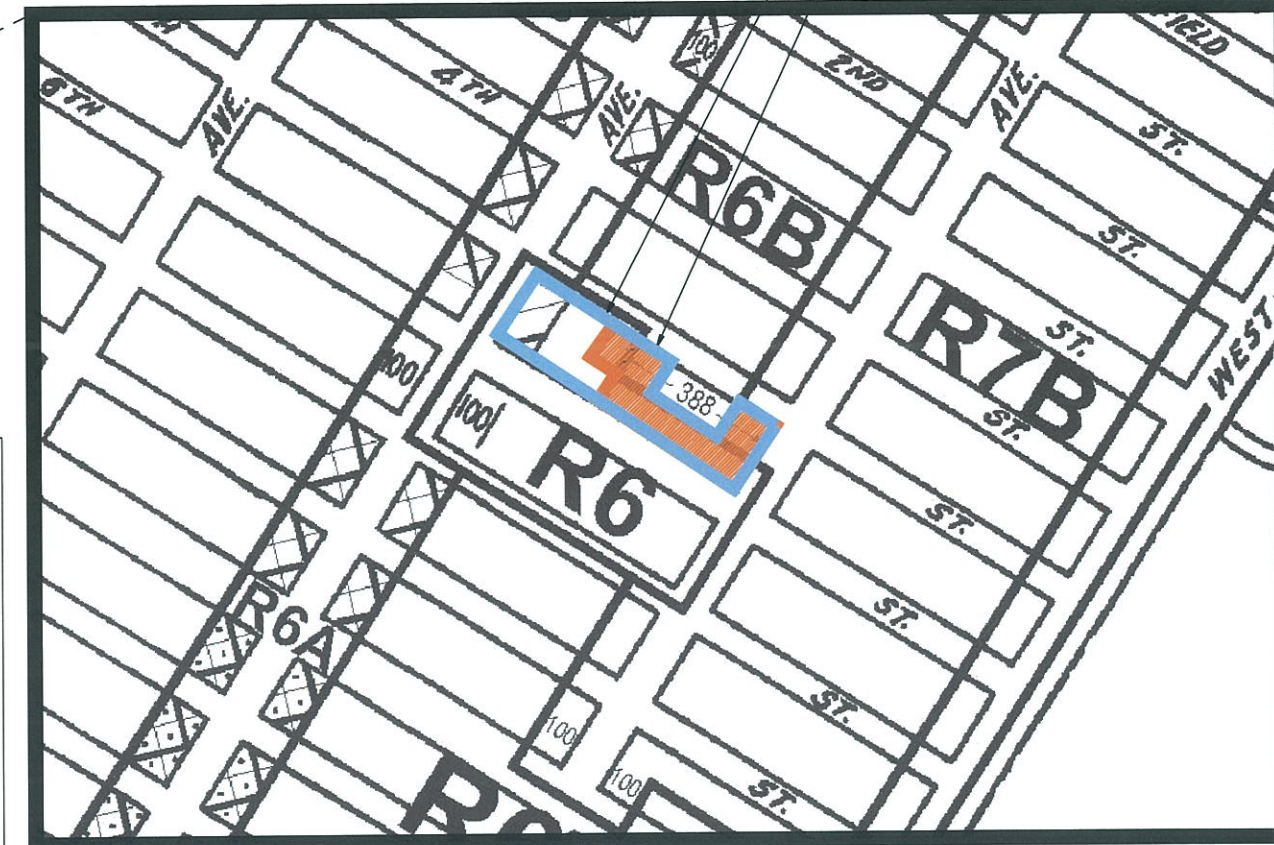


G-01	Zoning Map
G-02	Radius Diagram
Existing Conditions	
Z-01	Site Plan / Existing Conditions
Z-01A-01D	Garage Floor Plans / Existing Conditions
Proposed Conditions	
Z-02	Site Plan / Proposed Conditions
Z-03	Zoning Calculations / Proposed Conditions
Z-04	Non-Compliances and Schedules / Proposed Conditions
Z-05	Average Curb Levels / Proposed Conditions
Z-06	Floor Area & Lot Coverage / Proposed Conditions
Z-07	Yards / Proposed Conditions
Z-08-11	Sections / Proposed Conditions
Z-12	Curb Cuts, Loading Berths & Parking / Proposed Conditions
Z-13/14	Elevations / Proposed Conditions
Z-15-22	Floor Plans / Proposed Conditions
Complying Conditions	
Z-23	Site Plan / Complying Conditions
Z-24	Zoning Calculations / Complying Conditions
Z-25	Schedule / Complying Conditions
Z-26	Average Curb Levels / Complying Conditions
Z-27	Floor Area & Lot Coverage / Complying Conditions
Z-28	Yards / Complying Conditions
Z-29-33	Sections / Complying Conditions
Z-34	Curb Cuts, Loading Berths & Parking / Complying Conditions
Z-35/36	Elevations / Complying Conditions
Z-37-45	Floor Plans / Complying Conditions
Z-46-48	Proposed Below Grade Floor Plans
Z-49-51	Complying Below Grade Floor Plans
Z-52	Comparison Elevation Details

PROJECT ZONING LOT
PROJECT SITE



ZONING MAP
THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:
The numerical zoning district(s) that applies to R, C or M Districts (see section 23-200a of the Zoning Resolution).

R RESIDENTIAL DISTRICT
C COMMERCIAL DISTRICT
M MANUFACTURING DISTRICT

Special Requirements:
For a list of sites subject to CEQR environmental requirements, see APPENDIX C.
For a list of sites subject to "D" restrictive requirements, see APPENDIX D.
For secondary industry designated areas, see APPENDIX E.

Effective Date(s) of Rezoning:
11-28-2011 to 11-28-2011

MAP KEY

16a	16c	17a
16b	16d	17b
22a	22c	23a

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for the map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/dcp/zoning or contact the Zoning Information Desk at (212) 720-3291.

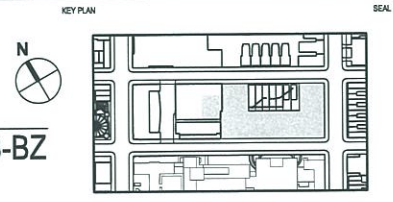
— ZONING LOT BOUNDARY
— DEVELOPMENT SITE

The Center for Community Health
541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St. Brooklyn, NY 11215

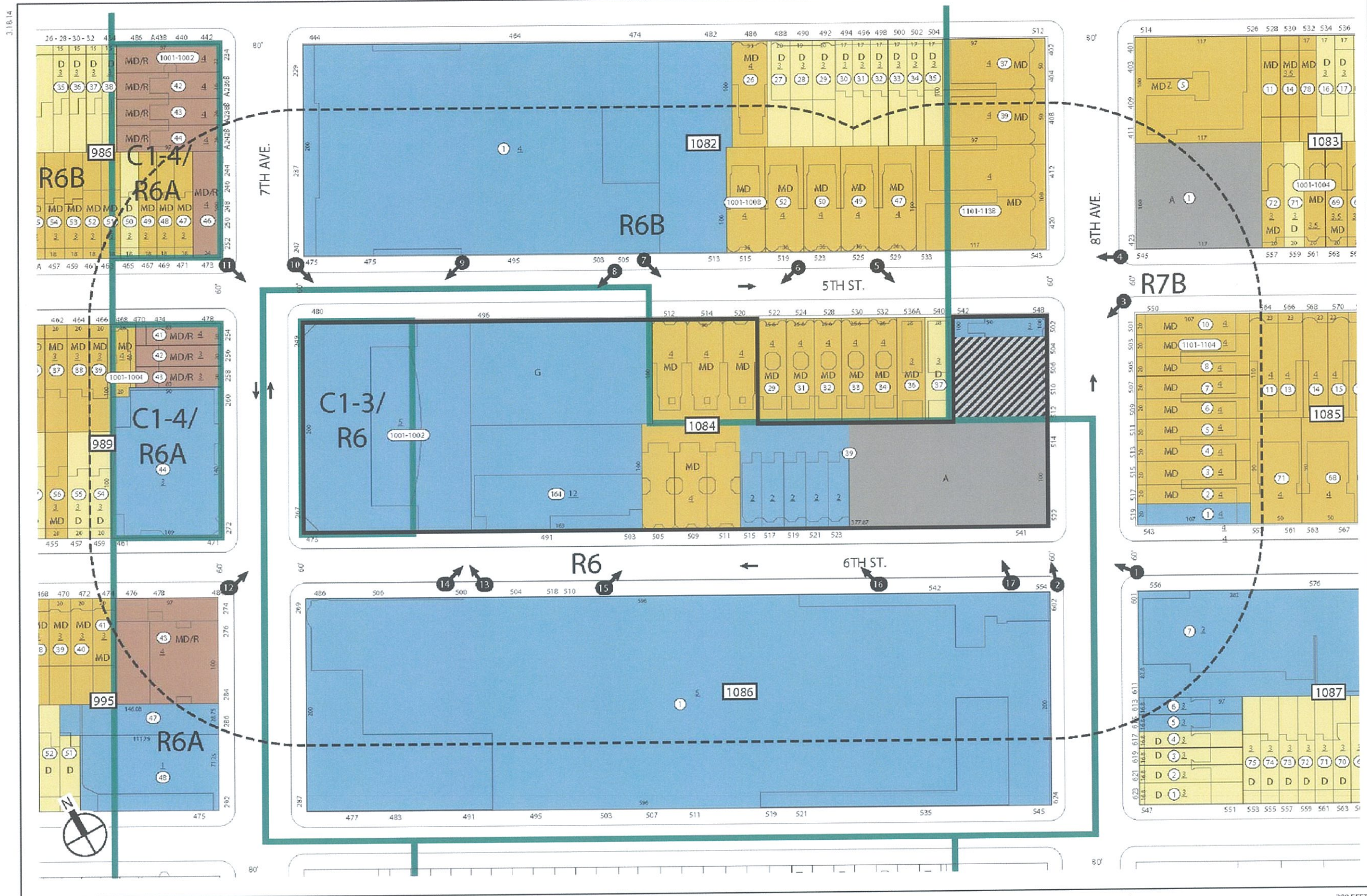
PROJECTED BY: PERKINS EASTMAN
115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

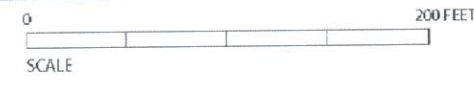
Zoning Districts
G-01
Scale: As Noted



- ### Legend
- Zoning Lot Boundary
 - Study Area Boundary (200 ft. Perimeter)
 - Lot Number
 - Block Number
 - Street Direction
 - Building Height/ Number of Stories
 - Street Width
 - Street Address
 - Building Footprint
 - Photograph View Direction and Reference Number

- ### Land Use
- Residential (1- or 2-Family Home)
 - Residential (Multiple Dwelling)
 - Mixed Residential/Commercial
 - Institutional/Community Facility
 - Parking/Automobile/Utility
 - Vacant Building
- D Dwelling
 MD Multiple Dwelling
 MD/R Mixed Residential/Commercial
 A Auto
 G Garage

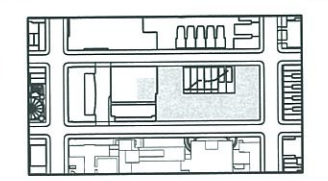
- ### Zoning
- Zoning District Boundary
 - R6** Zoning District



The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL
 ARCHITECT: PERKINS EASTMAN
 506 6th St. 115 5th Ave.
 New York, NY 10005

BSA Cal. No. 289-13-BZ

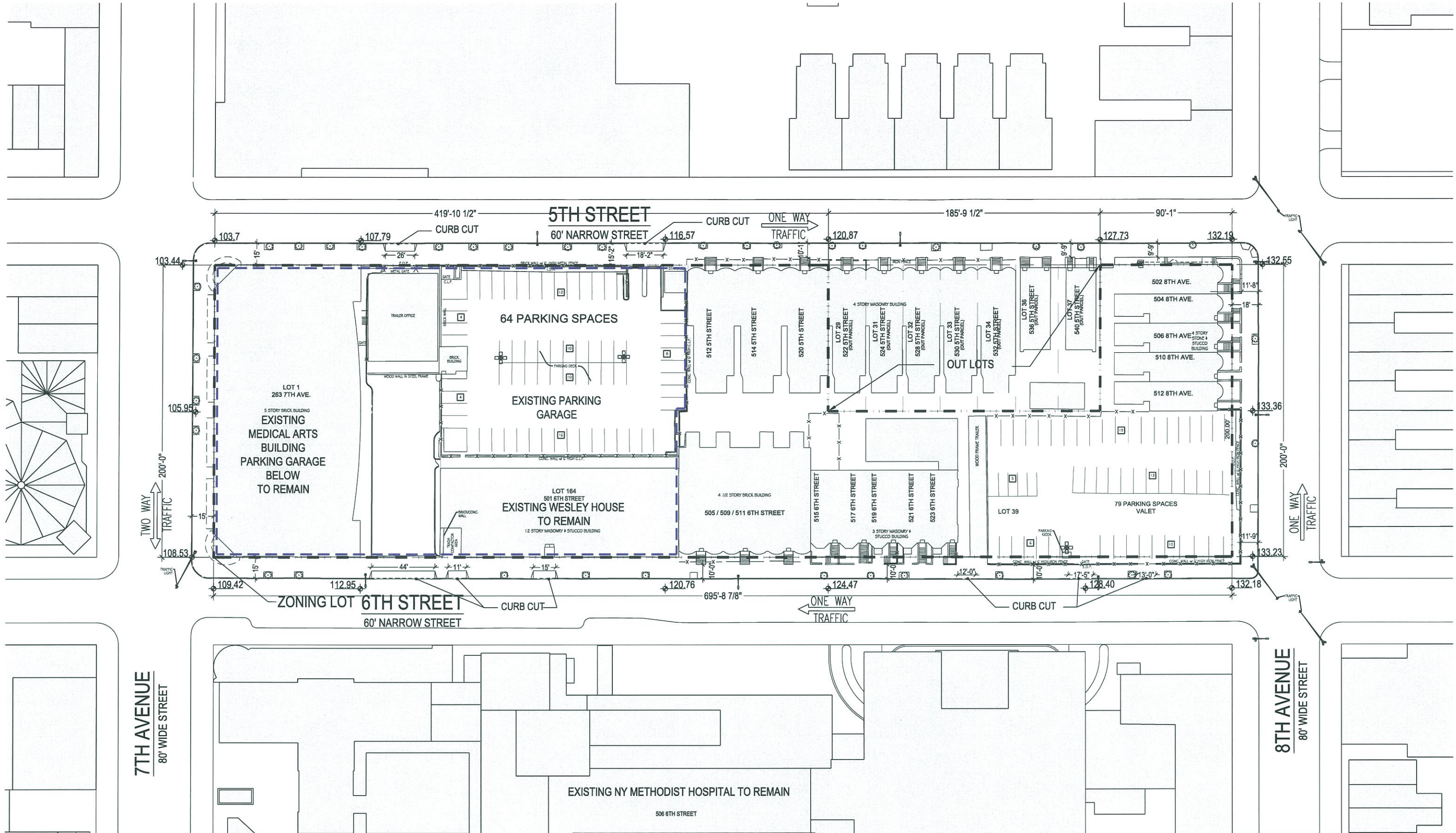


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Radius Diagram

G-02

Scale: As Noted



——— PROPOSED ZONING LOT BOUNDARY
 - - - - - EXISTING ZONING LOT SUBJECT TO BSA SPECIAL PERMIT DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ)

⊕ STREET TREE | STREET LIGHT
 ⊕ PARKING LOT LIGHT

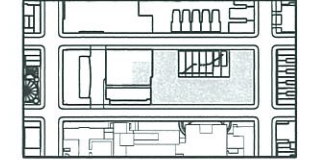
505-525 6TH STREET BLOCK 1084
 PARK SLOPE, BROOKLYN LOTS 39, 164, 1001, 1002



The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL ARCHITECT: PERKINS EASTMAN
 506 6th St. 115 5th Ave.
 Brooklyn, NY 11215 New York, NY 10003

BSA Cal. No. 289-13-BZ

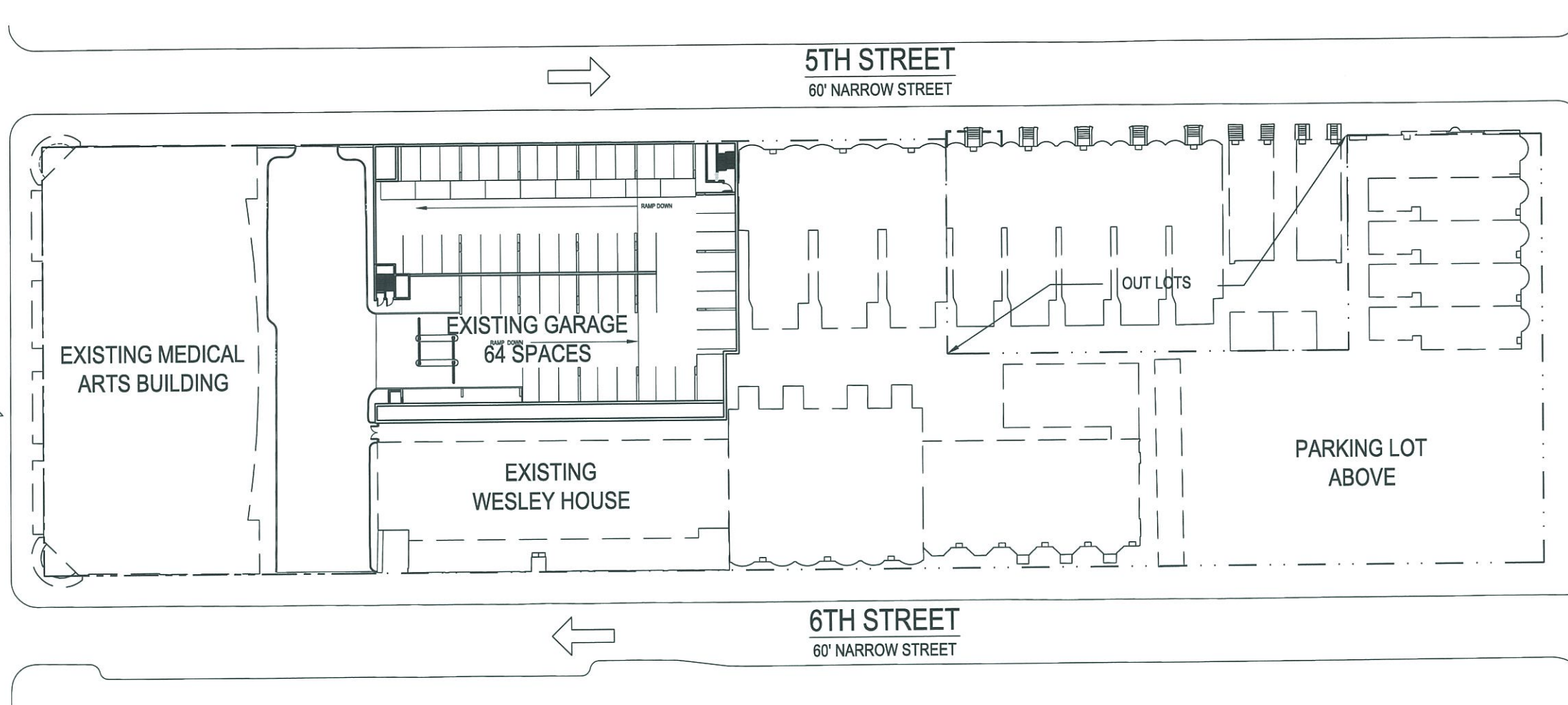


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Existing Site Plan

Scale: 1" = 64'

Z-01



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-4 DATED 05-06-97

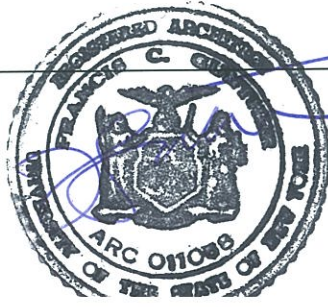
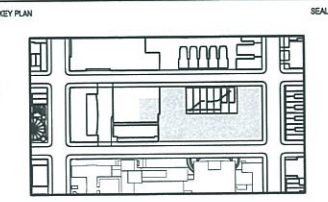
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St. New York, NY 11215

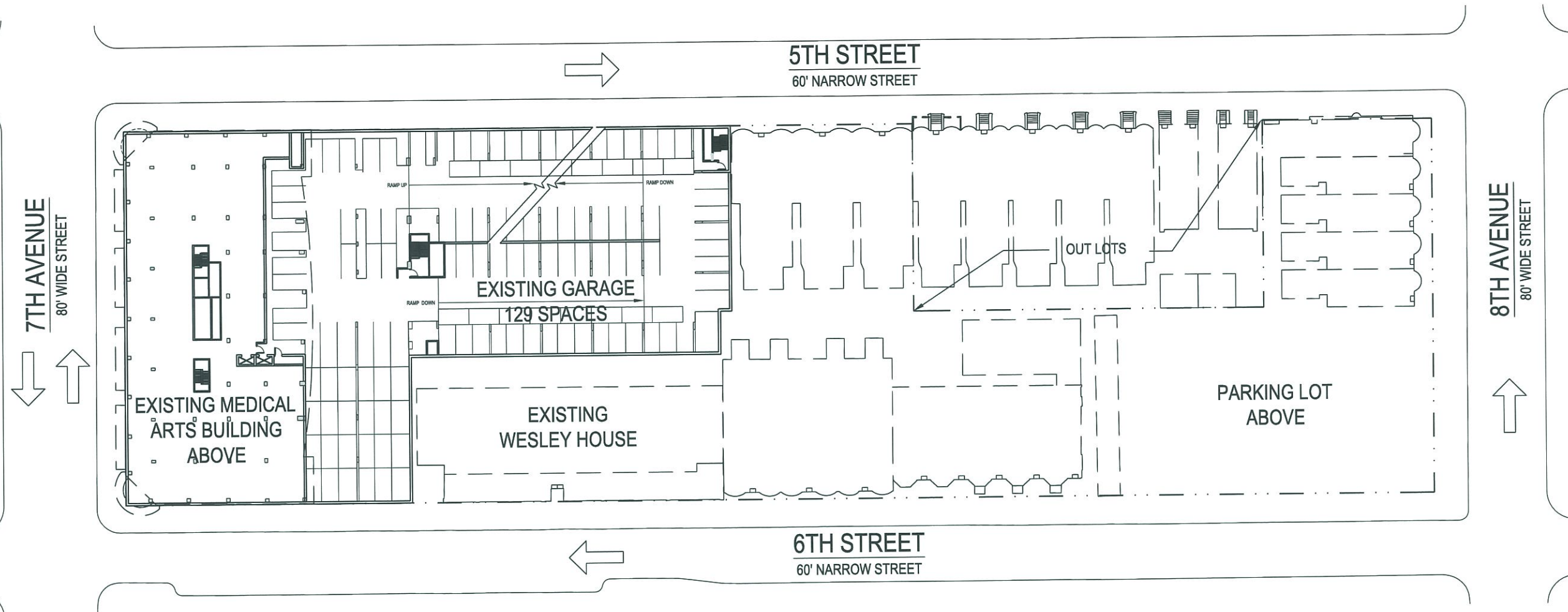
ARCHITECT: PERKINS EASTMAN
115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Existing
Garage Plan
Basement Z-01A**
Scale: 1" = 64'

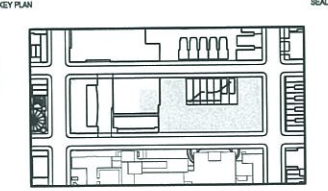


NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-3 DATED 06-12-96

The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL 506 6th St.
 ARCHITECT: PERKINS EASTMAN 115 5th Ave.

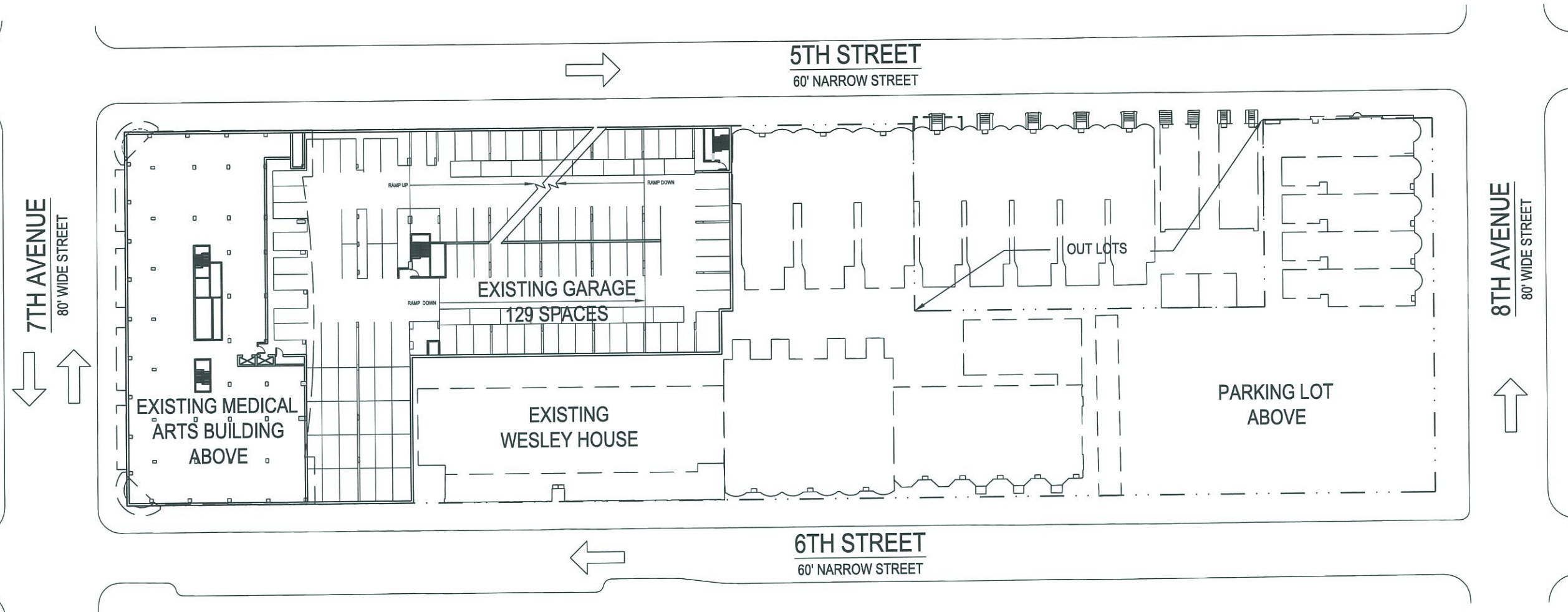
BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Existing
Garage Plan
Cellar 1**
 Scale: 1" = 64'

Z-01B



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-2 DATED 02-26-97

PROJECT TITLE

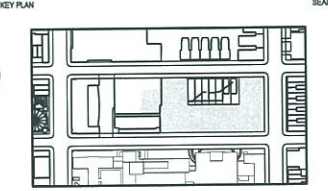
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



SEAL

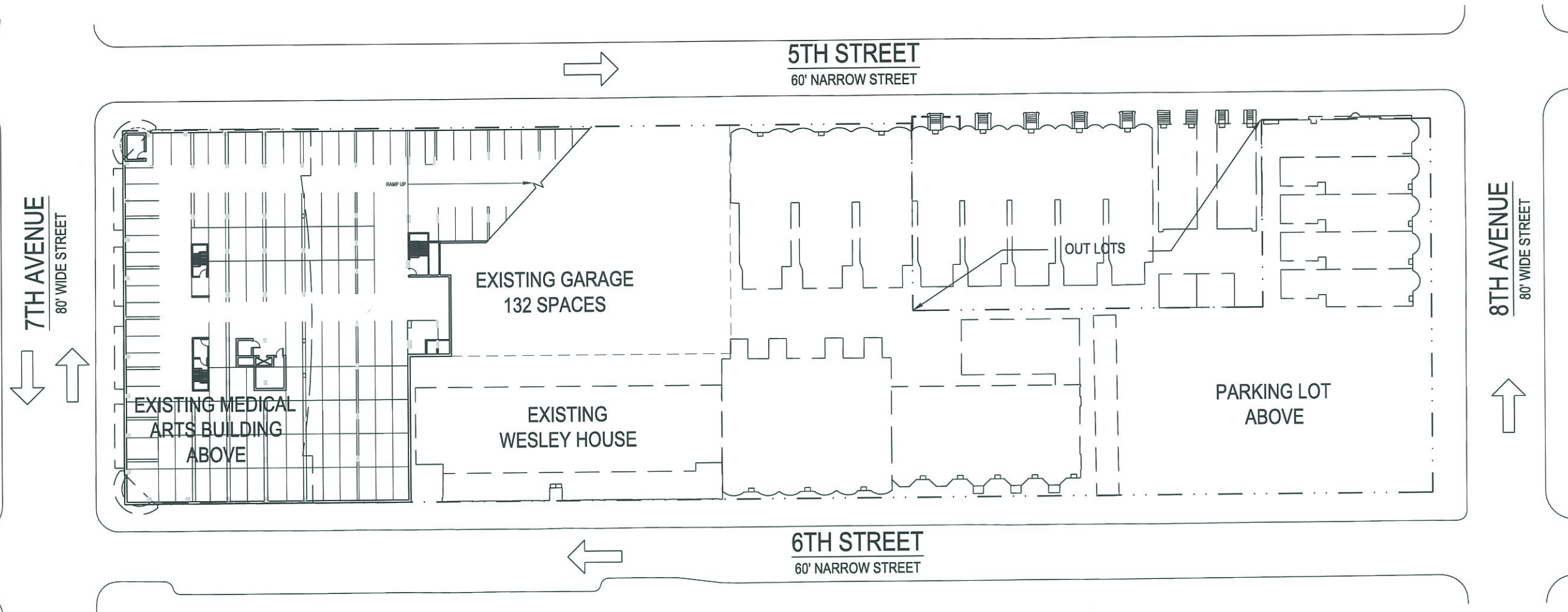


No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Existing Garage Plan

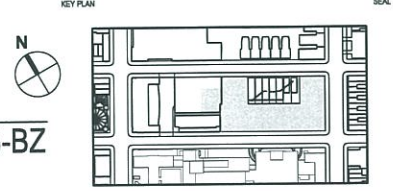
Cellar 2
Scale: 1" = 64'

Z-01C



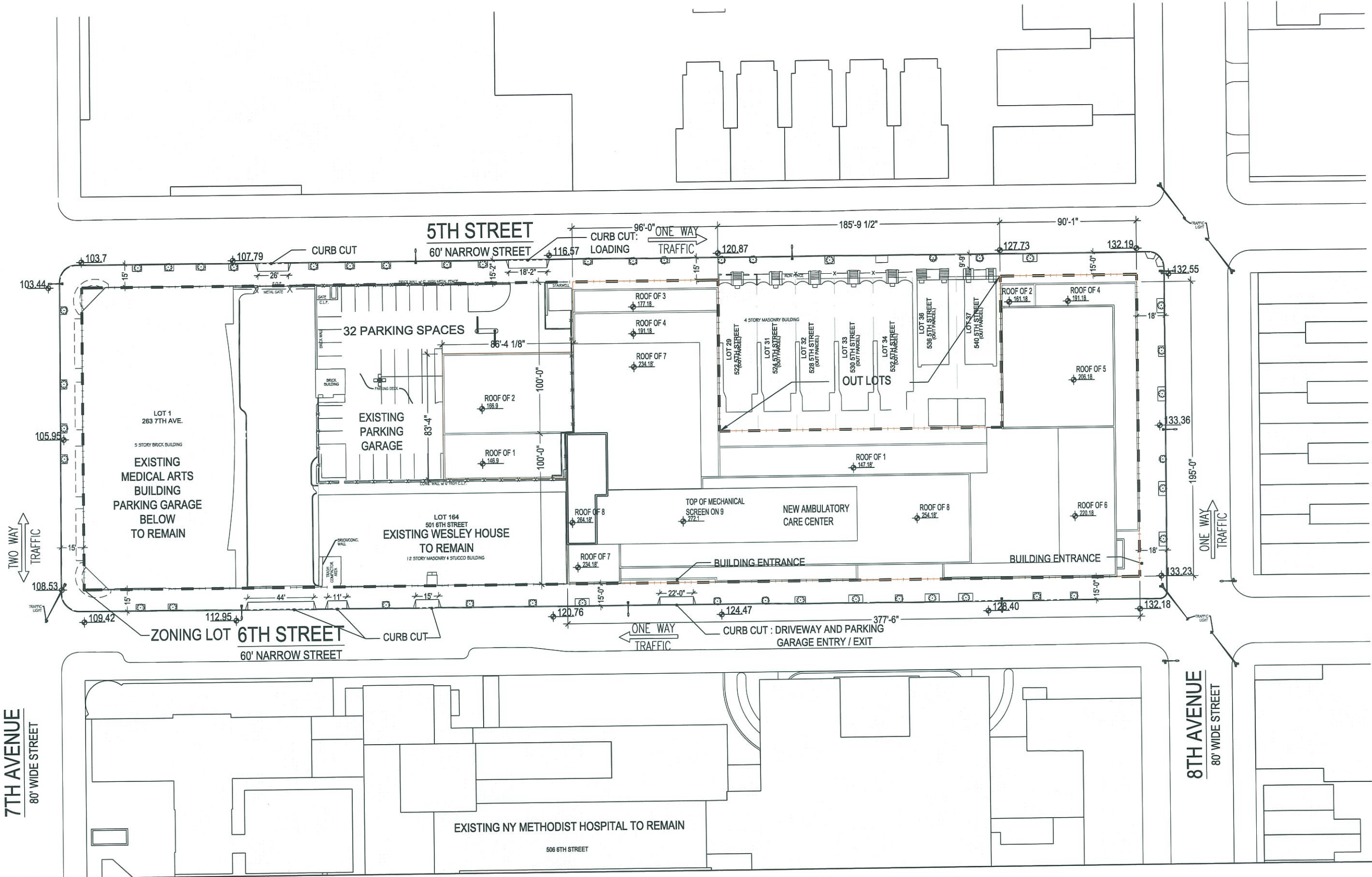
NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-1 DATED 02-26-97

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Existing
 Garage Plan
 Cellar 3**
 Scale: 1" = 64'
Z-01D



- - - ZONING LOT BOUNDARY
 ——— DEVELOPMENT SITE BOUNDARY

☼ STREET TREE
 ☼ PARKING LOT LIGHT
 ! STREET LIGHT



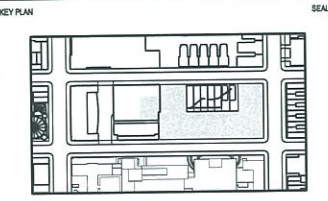
541 6TH STREET
 PARK SLOPE, BROOKLYN
 BLOCK 1084
 LOTS 39, 164, 1001, 1002

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Description	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Site Plan

Scale: 1" = 64'

Z-02

Applicable ZR Section Maps

Block 1084, Lots 39, 164, 1001, 1002

1. Zoning Districts: Map 16C

- R6 & R6-C1-3
- R6B
- R7B

2. Lot Area = 120,569 SF

- R6 = 100,348
- R6/C1-1 = 20,000 SF (included in R6 Lot Area)
- R6B = 11,213 SF
- R7B = 9,008 SF

3. Permitted Uses

Use Groups (UG)

- Residential: UG 1, 2
- Community Facility: UG 3, 4
- Commercial: UG 6 (C1-3 commercial overlay district only)

22-11,12
22-13,14
32-15

4. Uses

a. Existing Uses

- UG 4: Non-profit or voluntary hospitals and related facilities
- UG 3: Non-profit hospital staff dwelling
- UG 6: Retail uses

b. Proposed Uses

- Existing Uses to Remain: UG 4, UG 6 and UG 3 to remain
- Proposed: UG 4A Ambulatory diagnostic and health treatment care facility. COMPLIES

24-25(b)
24-36

5. Floor Area

a. Floor Area Permitted (See Z-06)

Maximum FAR

- R6 = 4.80
- R6/C1-1 = 4.80
- R6B = 2.0
- R7B = 3.0

24-11
33-121
24-11
24-11

Maximum Zoning Floor Area (ZFA)

- R6 = 481,670 ZFA (includes R6/C1-3) (100,348 SF x 4.8 = 481,670 ZFA)
- R6B = 22,426 ZFA (11,213 SF x 2 = 22,426 ZFA)
- R7B = 27,024 ZFA (9,008 SF x 3 = 27,024 ZFA)

Total permitted ZFA for zoning lot: 531,120

b. Floor Area Proposed

R6

- Existing ZFA to Remain = 73,720 ZFA Med Arts Bldg. (Includes 16,005 sf of retail)
- Existing ZFA to Remain = 87,814 ZFA Wesley House
- Proposed additional ZFA = 216,600 ZFA (See Z-04)
- Total Proposed ZFA = 378,134 ZFA COMPLIES

R6B

- Existing ZFA to Remain = 0 ZFA
- Proposed additional ZFA = 42,150 ZFA (See Z-04)
- Total Proposed ZFA = 42,150 ZFA DOES NOT COMPLY Requires Board of Standards and Appeals waiver to allow distribution of floor area across zoning district boundaries

R7B

- Existing ZFA to Remain = 0 ZFA
- Proposed additional ZFA = 39,600 ZFA (See Z-04)
- Total Proposed ZFA = 39,600 ZFA DOES NOT COMPLY Requires Board of Standards and Appeals waiver to allow distribution of floor area across zoning district boundaries

Total Proposed additional ZFA for Zoning Lot = 298,350 ZFA

Total Proposed ZFA for Zoning Lot = 459,884 ZFA

(Existing to Remain and Proposed) COMPLIES (See Z-04)

24-382
24-391

24-382 (a)

24-36

24-391

24-391

24-522

24-522

24-11

6. Lot Coverage

a. Lot Coverage Permitted.

- R6
- Corner Lots A, B = 14,000 SF (10,000 SF x 70% + 10,000 SF x 70%)
- Corner Lots C = 7,000 SF (10,000 SF x 70%)
- Through Lot A = 27,001.4 SF (41,556 SF x 65%)
- Interior Lot = 11,447.2 SF (17,611 SF x 65%)
- Through Lot B = 7,288 SF (11,213 SF x 65%)
- R6B
- Through Lot B = 6,727.8 SF (11,213 SF x 60%)
- R7B
- Corner Lot D = 7,206 SF (9,008 SF x 80%)

Total Lot Coverage Permitted = 80,670.4 SF

b. Existing Lot Coverage To Remain

- R6
- Corner Lots A, B = 14,000 SF/Corner Lot
- Through Lot A = 7285 SF

c. Proposed Lot Coverage (See Z-06)

- R6
- Corner Lot C = 9740 SF: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-06)
- Through Lot A = 13,125 SF (Including existing to remain): COMPLIES
- Interior Lot = 11,760 SF DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-06)
- Through Lot B = 10343 SF: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-06)
- R6B w/R6
- Through Lot B = 9975 SF: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-06)
- R7B
- Corner Lot D = 8550 SF (DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-06)

Total Coverage Proposed = 77,493 SF

7. Side Yards

- None required in R6, R6B, and R7B districts COMPLIES

8. Rear Yards/Rear Yard Equivalents

a. Required (See Z-07)

- b. Existing to Remain: See BSA Variance (11 January 1994, Cal.# 142-92-BZ)
- R6 (Corner Lots A,B): Existing to Remain Rear yard not required within 100 ft. of a corner.
- R6 (Through Lot A) Rear yard equivalent: COMPLIES

25-31

25-631

25-72

25-75

24-05

26-41

22-321

25-80

25-811

c. Proposed (See Z-07 - Z-11)

- R6B/R6 (Through Lot B)
- Rear yard equivalent: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-08)
- R6 (Interior Lot)
- Rear yard: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-09)
- R6 (Corner Lot C)
- Rear yard not required within 100 ft. of a corner. COMPLIES (See Z-09)
- R7B (Corner Lot D)
- Rear yard not required within 100 ft. of a corner. COMPLIES (See Z-09)

9. Height and Setback

a. Required

- R6
- Max Height of Front Wall: 60 ft. or 6 stories whichever is less
- Required 20 ft. setback above 60 ft. at narrow street
- Required 15 ft. setback above 60 ft. at wide street
- Required rear yard line setback of 20 ft. above 125 ft.

- R6B
- Min 30 ft. base height, Max 40 ft. base height
- Max 50 ft. building height
- Required 15 ft. setback above base from street wall
- Required rear yard line setback of 10 ft. above max base height

- R7B
- Min 40 ft. base height, Max 60 ft. base height
- Max 75 ft. building height
- Required 15 ft. setback above base at street wall on narrow street
- Required rear yard line setback of 10 ft. above max base height

b. Existing to remain.

- R6
- Wide Street: See BSA Variance (11 January 1994, Cal. #142-92-BZ)
- Narrow Street: See BSA Variance (11 January 1994, Cal. #142-92-BZ)

c. Proposed (See Z-08 - Z-11)

- R6
- Narrow Street: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification
- Wide Street: COMPLIES
- Rear yard line setback: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification

- R6B
- Narrow Street: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification
- Rear yard line setback: DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification

- R7B
- Narrow Street COMPLIES
- Wide Street: COMPLIES

10. Parking

a. Required Accessory Off-Street Parking Spaces for Developments and Enlargements - UG 4 Ambulatory Diagnostic or Treatment Health Care

- 1 space per 800 SF of floor area (including non-storage cellar space) 327,868 SF / 800 SF = 410 required spaces

b. Accessory Off-Street Parking Spaces Proposed:

- Existing Parking Spaces = 567
- 518 spaces (see BSA Special Permit, 11 January 1994, Cal. # 142-92-BZ)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 393 permitted parking spaces accessory to hospital related uses
- 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
- Existing to be remain = 480
- 480 spaces in garage and parking deck (38 spaces to be eliminated)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 246 permitted parking spaces accessory to hospital related uses
 - d. 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
 - e. 60 required spaces accessory to new development
- 0 spaces in doctors' lot (to be demolished)
- Proposed additional spaces = 350
- Total spaces accessory to new development = 410 (60 spaces in existing garage and parking deck and 350 new spaces) (see Z-04, Z-12) COMPLIES

11. Curb Cuts for Accessory Off-Street Parking

Permitted: 1 curb cut per street frontage of zoning lot maximum width of 22' (see Z-12)

- 6th Street: 6 existing (3 to remain, 2 to be removed, 1 to be relocated and widened) COMPLIES
- 5th Street: 2 existing to remain COMPLIES

12. Accessory Off-Street Loading Berths

a. Accessory Off-Street Loading Berths Required for Developments or Enlargements - UG4A Ambulatory Diagnostic or Treatment Health care Facilities NONE

b. Accessory Off-Street Loading Berths Proposed
Existing loading berths = 2 See BSA Variance (11 January 1994 Cal # 142-92-BZ)
Proposed additional loading berths = 2 loading berths COMPLIES (See Z-12)

c. Accessory Off-Street Loading Berth Curb Cuts

Not permitted within 50 ft. of an intersection of any two street lines
Existing within 50 ft. of an intersection = 0
Provided: New curb cuts are not within 50 ft. of an intersection COMPLIES

13. Street Tree Planting

Street Trees Required for Developments or Enlargements that increase the floor area on a zoning lot by 20% or more.

1 Tree/25 ft. of the frontage of the Zoning Lot.
1,605.6 LF/25 ft. = 64 Trees
Existing trees: 30 Trees (1 to be removed)
Proposed additional street trees: 9 Trees
Remaining: (35-9) 26 trees will be provided in accordance with Section 26-41 COMPLIES

14. Signs Regulations

a. Signage for non-residential buildings is limited to one identification sign no greater than 12 SF. Bulletin board, not exceeding 16 SF, is permitted
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification (See Z-52)

15. Bicycle Parking

a. Enclosed Accessory Bicycle Parking Spaces Required for Developments and Enlargements - UG 4 Ambulatory Diagnostic or Treatment Health Care

- 1 per 10,000 SF of floor area, 15 SF per space
- 298,350 ZFA/10,000 = 30 spaces, 450 SF

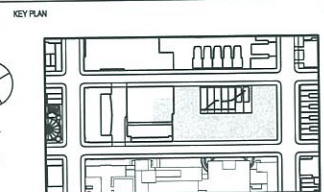
b. Accessory Bicycle Parking Spaces Proposed (See Z-12)
Proposed enclosed spaces = 30 spaces, 450 SF COMPLIES

PROJECT TITLE
The Center for Community Health
541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
Zoning Calculations
Z-03**

Scale: As Noted

Non-Compliances (See Z-8 - Z-11)

1. Distribution of floor area across district boundaries. ZR 77-21 and 77-02
2. Lot coverage in the R6, R6B and R7B zoning districts ZR 24-11.
3. Required rear yard in the R6 zoning district and required rear yard equivalents in the R6 and R6B zoning districts ZR 24-33, 24-36 and 24-382
4. Height and setback in the R6 zoning district ZR 24-522
5. Base height and maximum building height in the R6B Zoning district, and street wall location in the R6B zoning district ZR 23-633 and 24-522
6. Required setbacks from the rear yard line in the R6 and R6B zoning districts ZR 24-552
7. Number and surface area of signs ZR 22-321

Note.

A portion of this zoning lot is subject to a prior approval of the Board of Standards and Appeals:

1. BSA Cal. No. 142-92 BZ which granted (i) a variance waving applicable requirements for height and setback (ZR 33-431), location of entrance to a group parking facility accessory to commercial uses (ZR 22-10, 77-12, and 77-332), required number of loading berths (ZR 36-63), and enclosure of and location of entrance to loading berths (ZR 22-10, 36-683, 77-12, and 77-332); and (ii) an application for a special permit modifying the maximum permitted size of an accessory group parking facility (ZR 73-48). Proposed development requires a modification of the drawings approved in connection with the special permit to accommodate required parking for the proposed development in the existing garage and parking deck.

FLOOR AREA SCHEDULE - AMBULATORY CARE FACILITY (UG4)

FLOOR	ZONING FLOOR AREA (ZFA)
SUB-CELLAR 2	0
SUB-CELLAR 1	0
CELLAR	0
G / 1	45,316
2	48,735
3	48,757
4	47,320
5	40,931
6	34,930
7	28,841
8	1,840
9	1,680
	298,350

FLOOR AREA SCHEDULE - AMBULATORY CARE FACILITY (UG4)

MEDICAL ARTS BUILDING	73,720
WESLEY HOUSE	87,814
TOTAL ZONING LOT ZFA	459,884

PROJECT TITLE

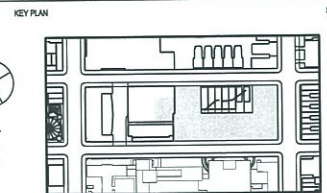
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER
NYM HOSPITAL
506 6th St.

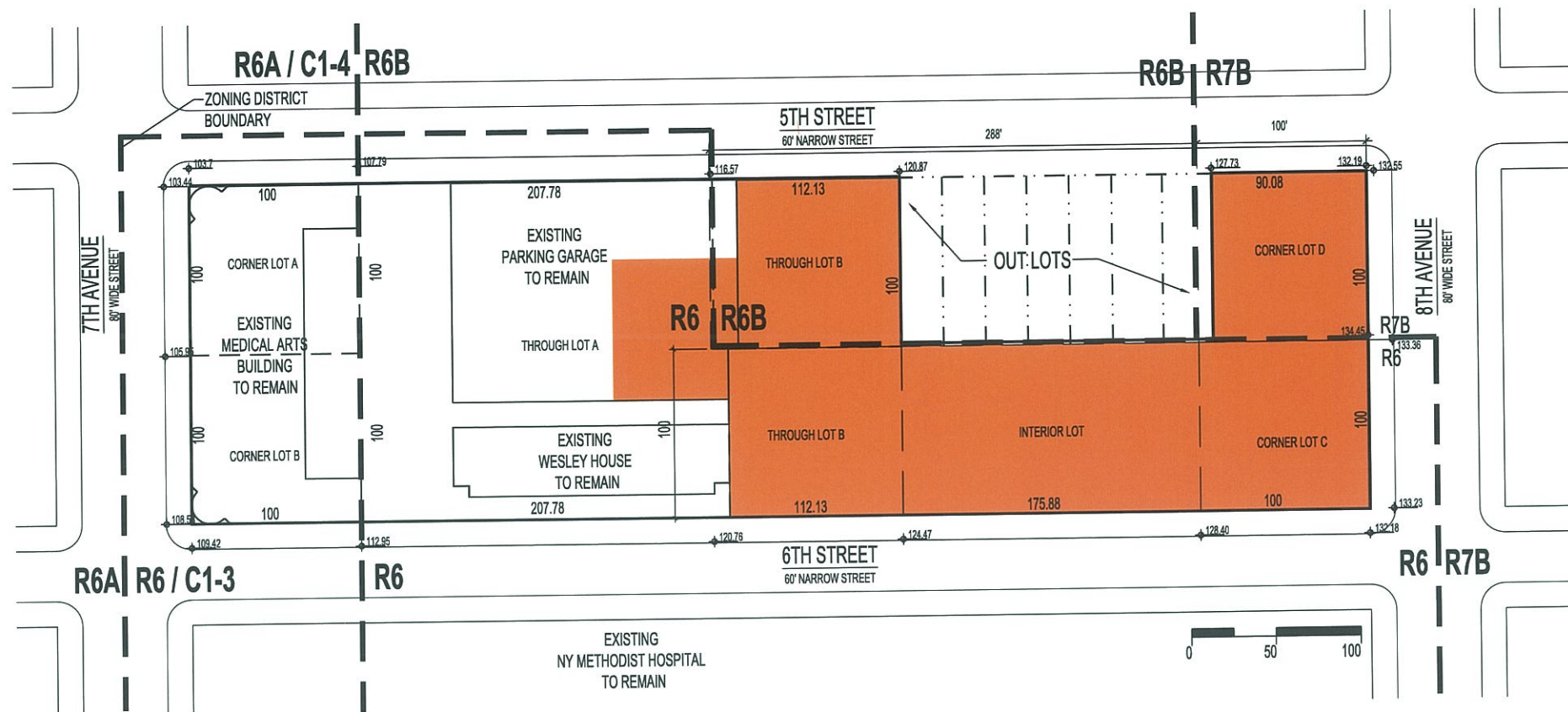
ARCHITECT
PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
Non Compliance
Schedules Z-04
Scale: As Noted



AVERAGE CURB LEVELS AND BASE PLANE ELEVATIONS:

CORNER LOT A: EL 105.22'
 [5TH ST. : (103.7' + 107.79' / 2) + 7TH AVE. : (103.44' + 105.95' / 2)] / 2 = EL 105.22'

CORNER LOT B: EL 109.21'
 [6TH ST. : (109.42' + 112.96' / 2) + 7TH AVE. : (108.53' + 105.95' / 2)] / 2 = EL 109.21'

THROUGH LOT A (5TH ST.) : EL 112.18'
 [107.79' + 116.57'] / 2 = EL 112.18'

THROUGH LOT A (6TH ST.) : EL 116.86'
 [112.95' + 120.76'] / 2 = EL 116.86'

THROUGH LOT B (5TH ST.) : EL 118.72'
 [116.57' + 120.87'] / 2 = EL 118.72'

THROUGH LOT B (6TH ST.) : EL 122.62'
 [120.76' + 124.47'] / 2 = EL 122.62'

INTERIOR LOT : EL 126.44'
 [124.47' + 128.40'] / 2 = 126.44'

CORNER LOT C: EL 131.8'
 [6TH ST. : (128.4' + 132.18' / 2) + 8TH AVE. : (133.23' + 133.36' / 2)] / 2 = EL 131.8'

CORNER LOT D: EL 131.23'
 [5TH ST. : (127.73' + 132.19' / 2) + 8TH AVE. : (132.55' + 134.45' / 2)] / 2 = EL 131.23'

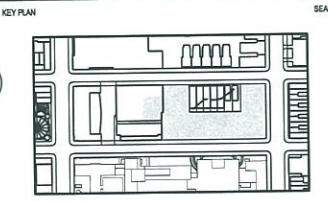
- DEVELOPMENT SITE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY

The Center for Community Health

541 6th St. Brooklyn, NY 11215

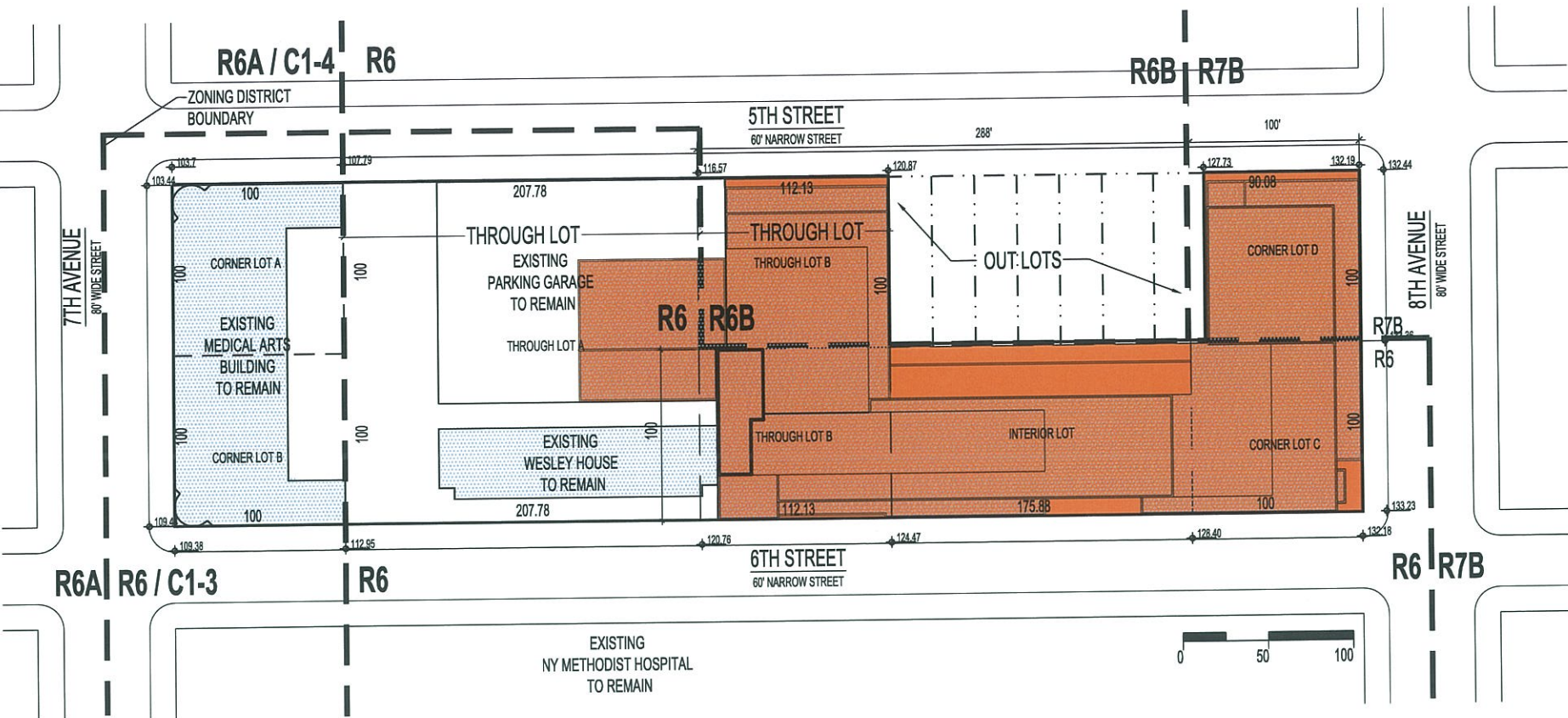
OWNER: NYM HOSPITAL
 ARCHITECT: PERKINS EASTMAN
 506 6th St. 115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Description	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
 Curb Level
 Base Plane Z-05
 Scale: 1" = 96'



- DEVELOPMENT SITE
- LOT COVERAGE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY

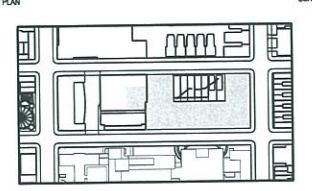
LOT COVERAGE : 24-11, 24-12

ZONING LOT	LOT AREA (SF) X PERMITTED %	PERMITTED LOT COVERAGE (SF)	EXISTING LOT COVERAGE (SF)	EXISTING LOT COVERAGE (%)
CORNER LOT A	10,000 SF X 70%	7,000	7000	70%
CORNER LOT B	10,000 SF X 70%	7,000	7000	70%
THROUGH LOT A	41,556 SF X 65%	27,011.4	7285	17.5%
THROUGH LOT B (R6B)	11,213 SF X 60%	6,728	0	0%
THROUGH LOT B (R6)	11,213 SF X 65%	7,288	0	0%
INTERIOR LOT	17,611 SF X 65%	11,447.2	0	0%
CORNER LOT C	10,000 SF X 70%	7,000	0	0%
CORNER LOT D	9,008 SF X 80%	7,206	0	0%
SUBTOTAL	120,601 SF X 66.89%	80,680.6	21,285	26%

LOT COVERAGE : COMPLIANCE (CONTINUED)

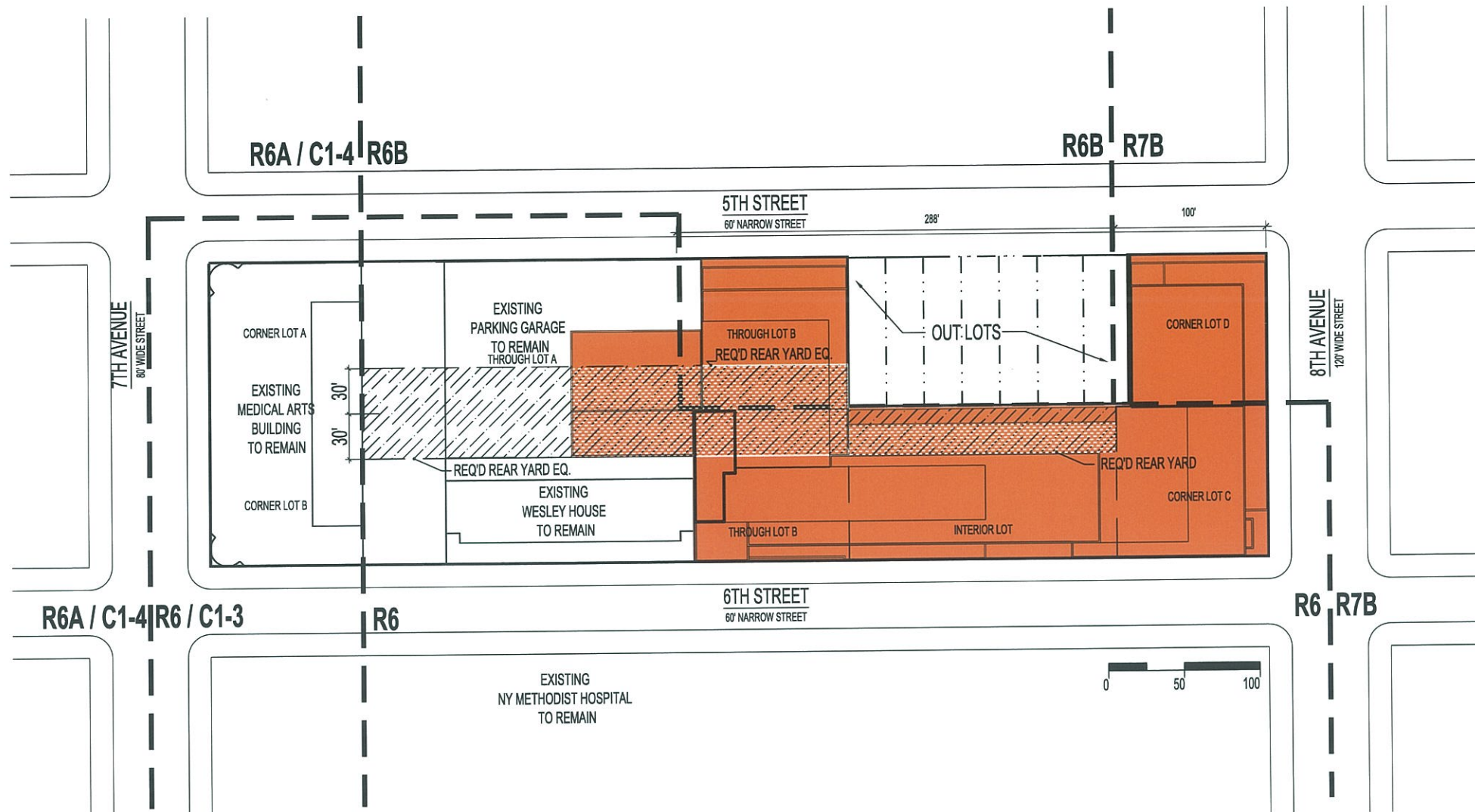
ZONING LOT	ADDITIONAL PROPOSED (SF)	ADDITIONAL PROPOSED (%)	TOTAL EXISTING + PROPOSED (SF)	TOTAL EXISTING + PROPOSED (%)	COMPLIANCE
CORNER LOT A	0	0%	7000	70%	COMPLIES
CORNER LOT B	0	0%	7000	70%	COMPLIES
THROUGH LOT A	5,840	14%	13,125	31.58%	COMPLIES
THROUGH LOT B (R6B)	9,975	88.9%	9,975	88.9%	DOES NOT COMPLY
THROUGH LOT B (R6)	10,343	92%	10,343	92%	DOES NOT COMPLY
INTERIOR LOT	11,760	66.78%	11,760	66.78%	DOES NOT COMPLY
CORNER LOT C	9,740	97.4%	9,740	97.4%	DOES NOT COMPLY
CORNER LOT D	8,550	94.9%	8,550	94.9%	DOES NOT COMPLY
SUBTOTAL	56,208	46.6%	77,493	64.4%	COMPLIES

The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL 506 6th St.
 ARCHITECT: PERKINS EASTMAN 115 5th Ave.
 BSA Cal. No. 289-13-BZ



5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Lot Coverage
Z-06
 Scale: 1" = 96'



- DEVELOPMENT SITE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY
- AREA OF NON-COMPLIANCE
- REQUIRED REAR YARD OR REAR YARD EQ.

Rear Yards 24-36

- a. Rear Yard Required
Minimum depth of 30.0' at every rear lot line
Rear yard required for interior lots
- b. Rear Yards Proposed
Proposed building (Partial) on Interior Lot
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification.

Rear Yard Equivalents 24-382

- a. Rear Yard Equivalents Required
Previously identified rear yard equivalents for through lots A (R6) and B (R6/R6B) required as per 24-382(a).
- b. Rear Yard Equivalents Proposed
Proposed building (Partial) on Through Lot A (R6)
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification.
Proposed building (Partial) on Through Lot B (R6/R6B)
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification.

Rear Yard Setback 24-552 (R6)

- a. Rear Yard Requirements
No portion of a building more than 125 ft. above yard level shall be near a rear yard line than 20 ft.
- b. Rear Yard Proposed
Proposed building (Partial) on Through Lot A (R6)
COMPLIES
Proposed building (Partial) on Through Lot B (R6/R6B)
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification. (See Z-08)
Proposed building (Partial) on Interior Lot (R6)
DOES NOT COMPLY: Requires Board of Standards and Appeals waiver or modification. (See Z-09)

Side Yards 24-35

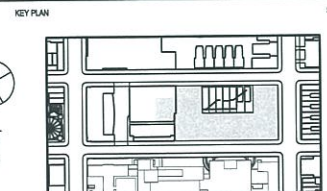
- a. Side Yards, Not Required
Minimum of 8 ft. if provided at any level.
- b. Side Yards Proposed
No side yards are proposed.
COMPLIES

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.
ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013
No.	Issue Name	Date

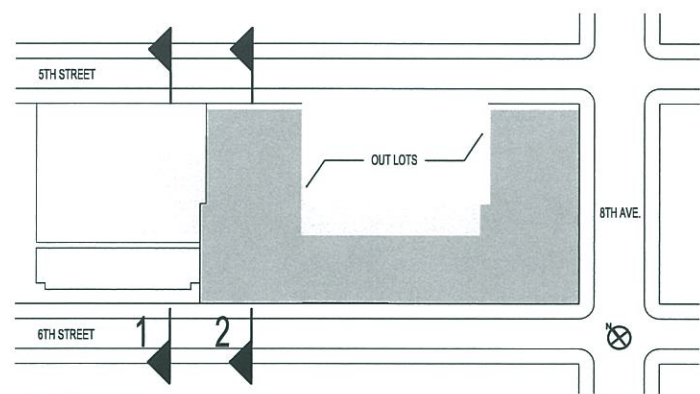
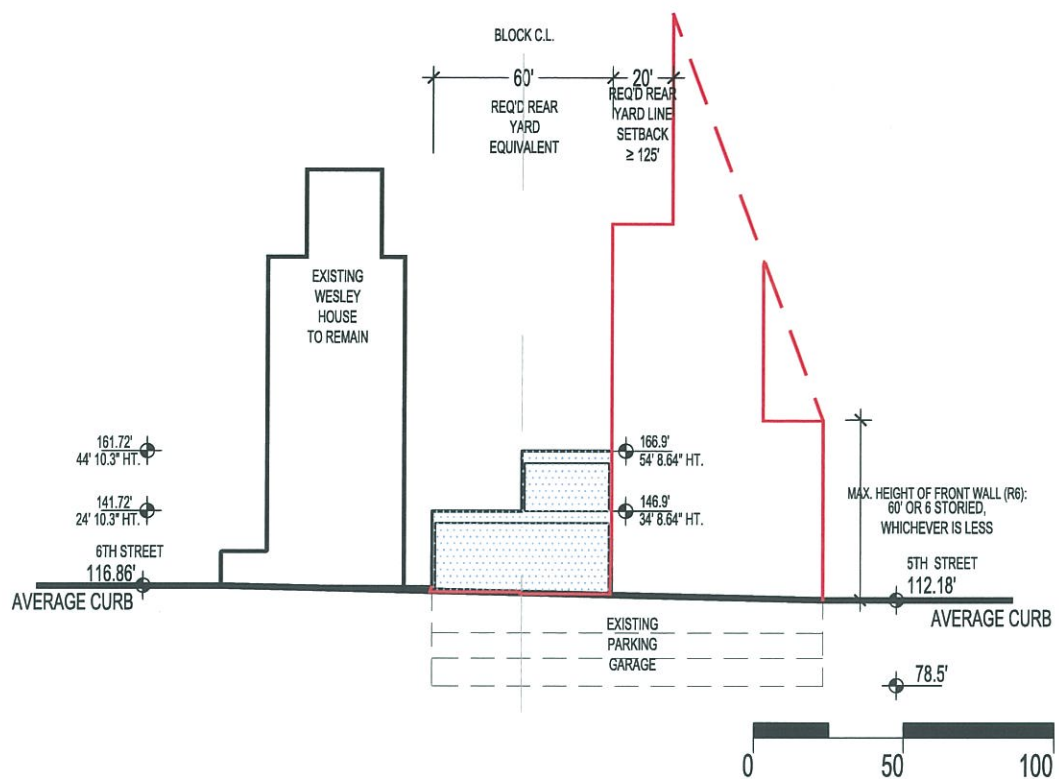
**Proposed
Req. Yards**

Scale: 1" = 96'

Z-07

1

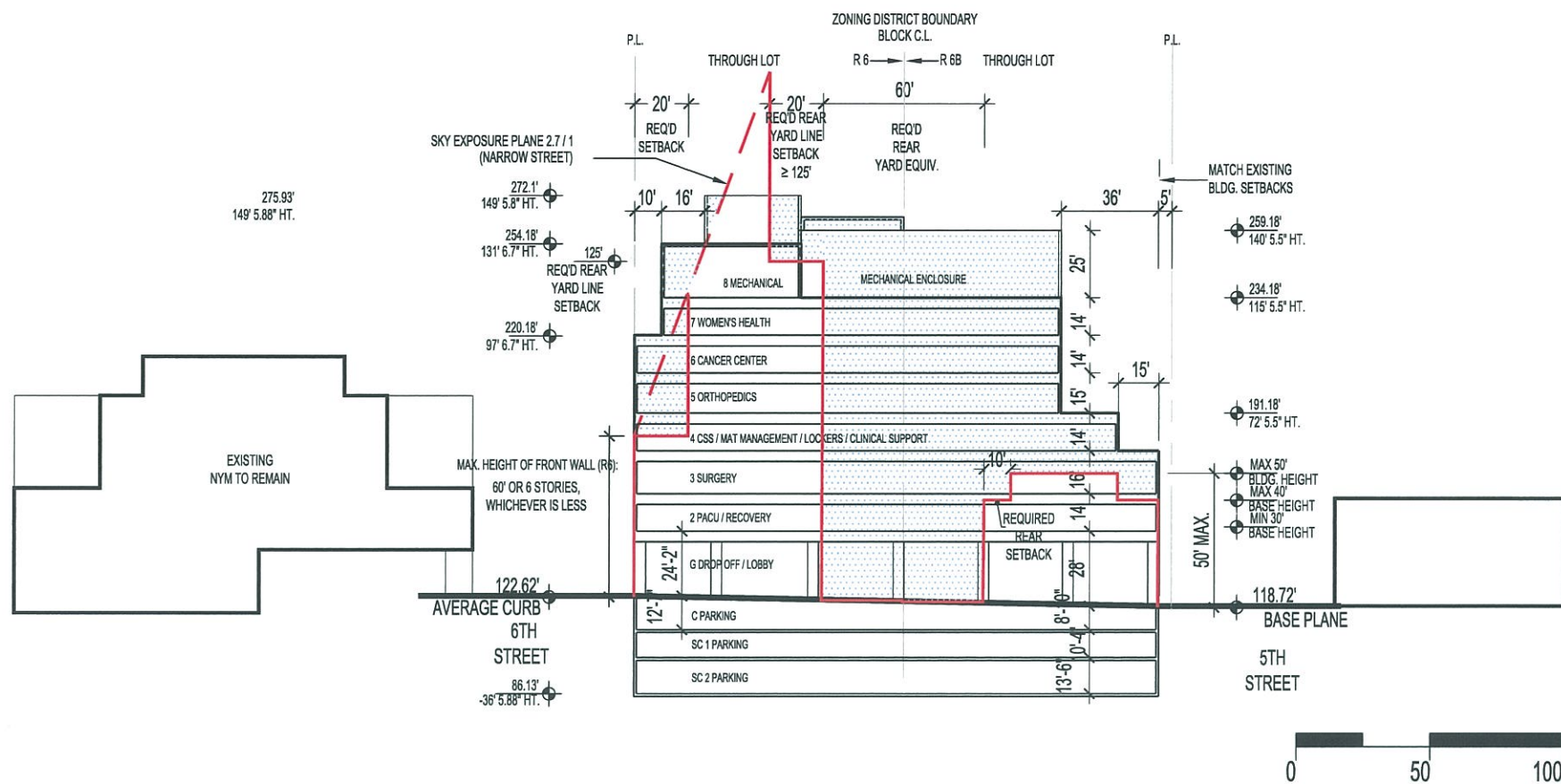
THROUGH LOT A: R6



- KEY SCALE 1" = 192'
- AREAS OF NON-COMPLIANCE
 - SKY EXPOSURE PLANE
 - PERMITTED BUILDING ENVELOPE

2

THROUGH LOT B: R6 / R6B



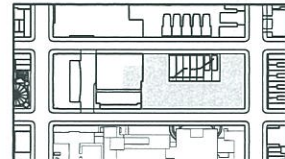
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.
Brooklyn, NY 11215

ARCHITECT: PERKINS EASTMAN
115 5th Ave.
New York, NY 10003

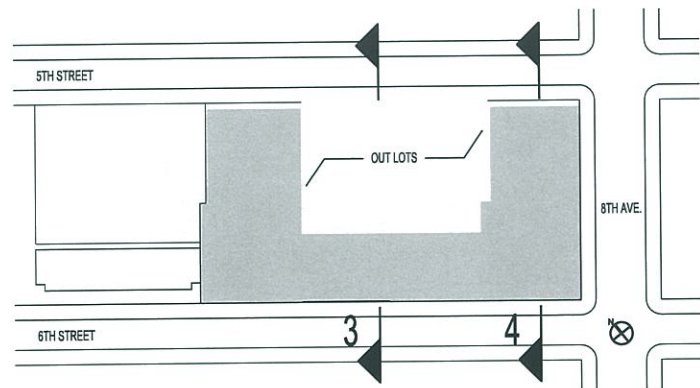
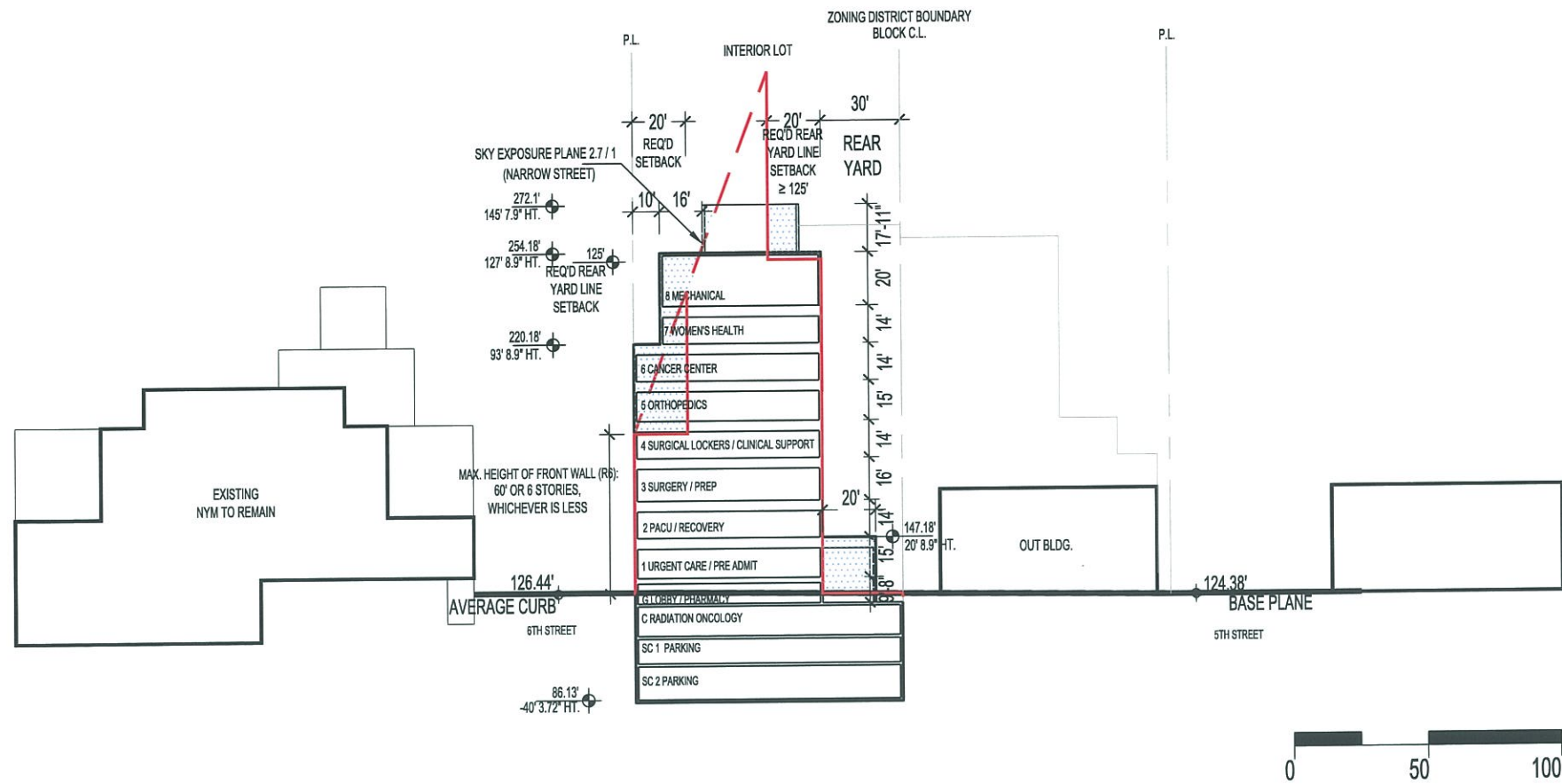
BSA Cal. No. 289-13-BZ



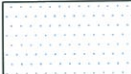

No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Sections
Rear Yards / Height and
Setback Z-08
Scale: 1" = 64'

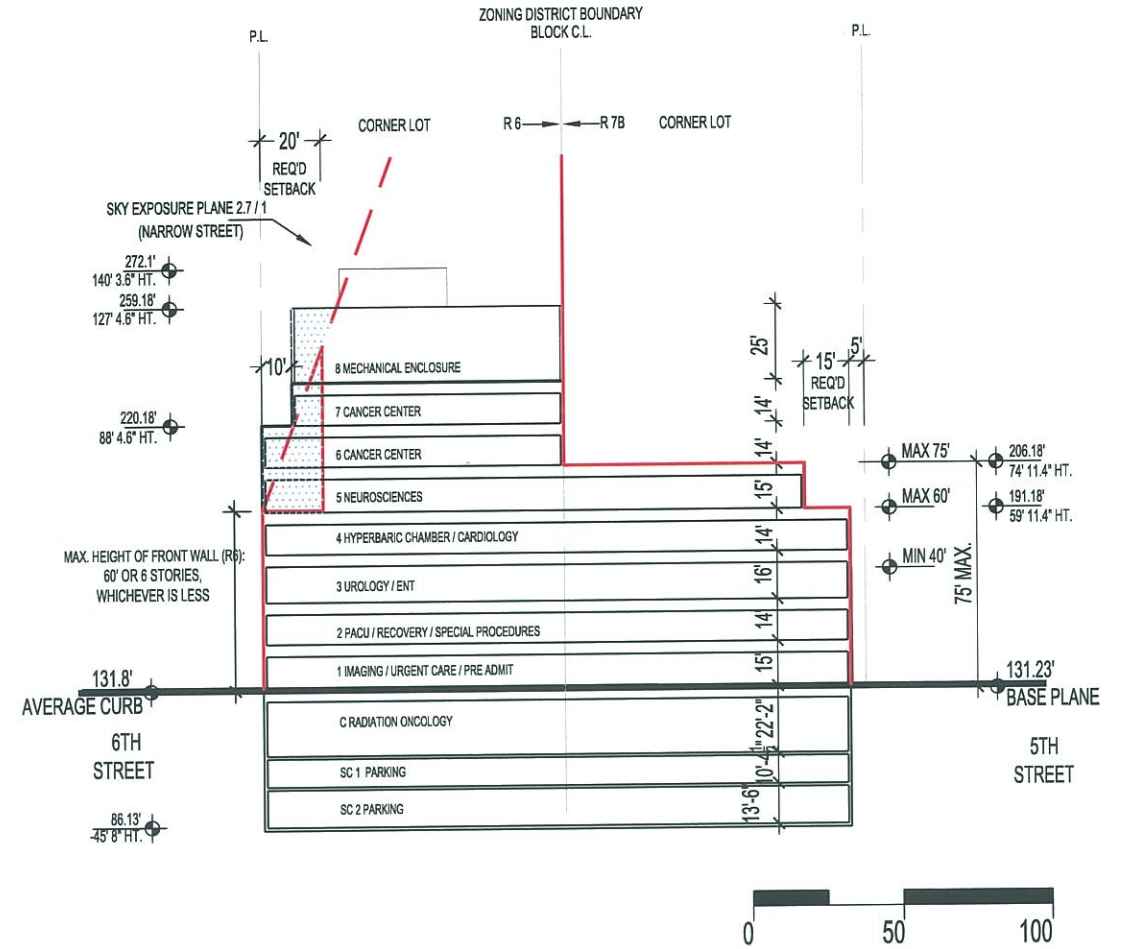
3 INTERIOR LOT: R6



KEY SCALE 1" = 192'

-  AREAS OF NON-COMPLIANCE
-  SKY EXPOSURE PLANE
-  PERMITTED BUILDING ENVELOPE

4 CORNER LOTS C & D: R6 / R7B

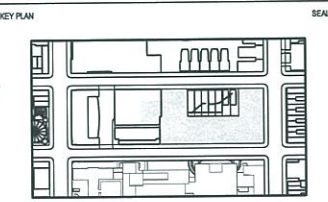


The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL, 506 6th St.
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave.

BSA Cal. No. 289-13-BZ

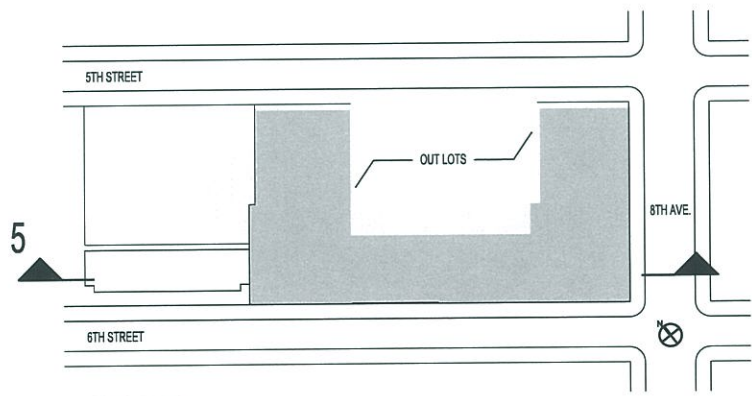
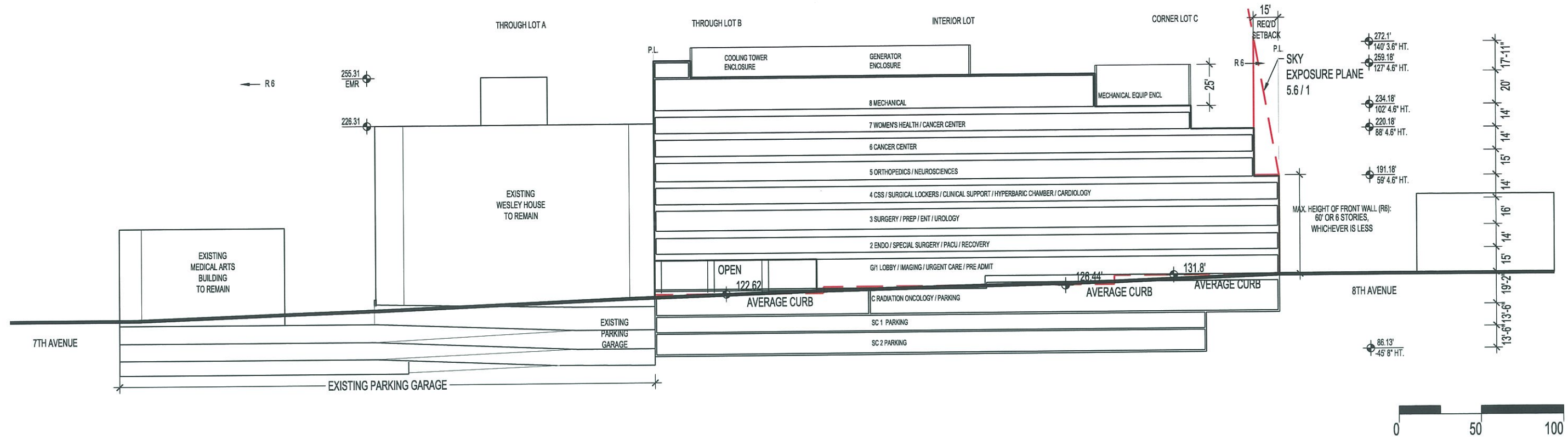


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

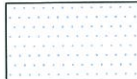
Proposed Sections
Rear Yards / Height and Setback
Z-09
 Scale: 1" = 64'

5

CORNER LOT C, INTERIOR LOT, THROUGH LOT B (R6)



KEY SCALE 1" = 192'

 AREAS OF NON-COMPLIANCE
 SKY EXPOSURE PLANE
 PERMITTED BUILDING ENVELOPE

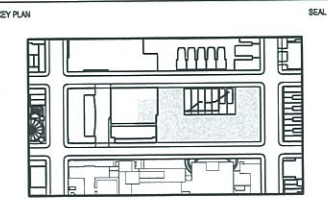
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St. NY 11215

ARCHITECT: PERKINS EASTMAN
115 5th Ave. NY 10003

BSA Cal. No. 289-13-BZ

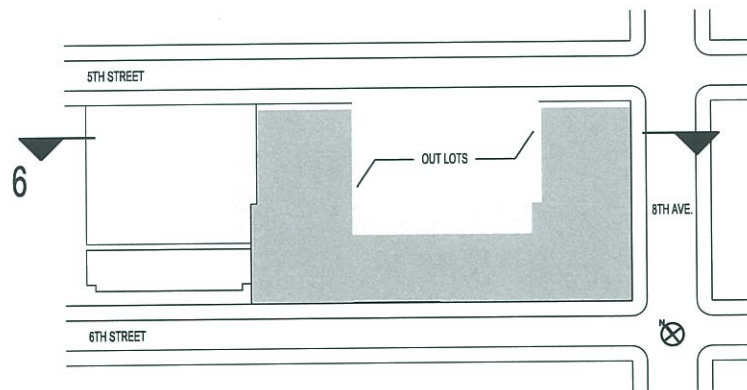
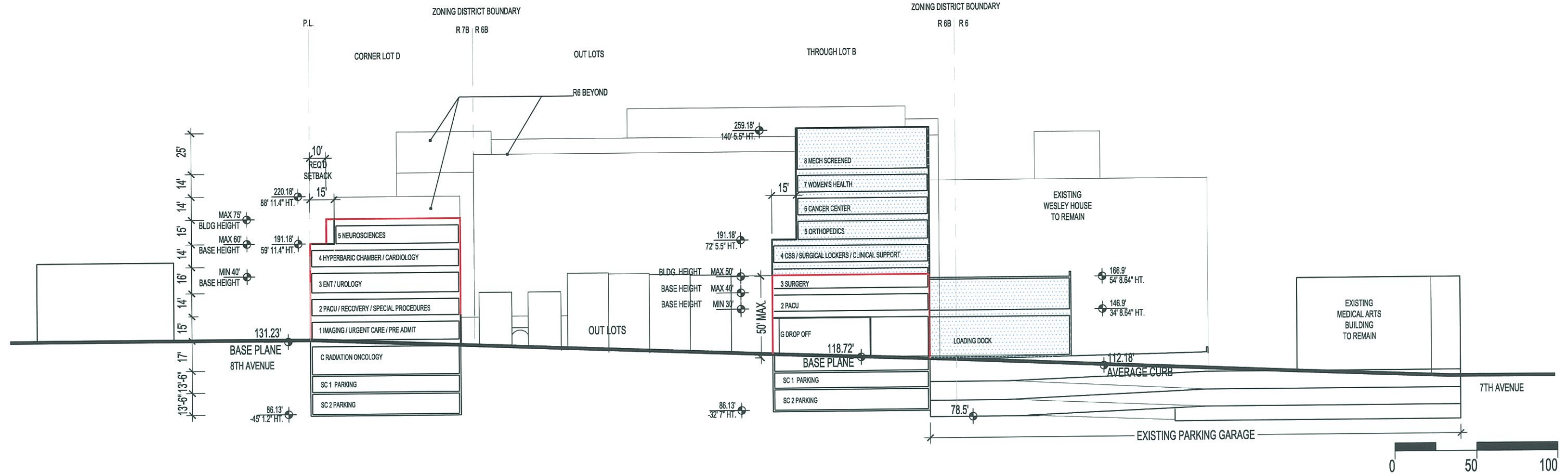


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Sections Height and Setback Z-10

Scale: 1" = 64'

6 CORNER LOT D (R7B) AND THROUGH LOT B (R6B)



- KEY SCALE 1" = 192'
- AREAS OF NON-COMPLIANCE
 - SKY EXPOSURE PLANE
 - PERMITTED BUILDING ENVELOPE

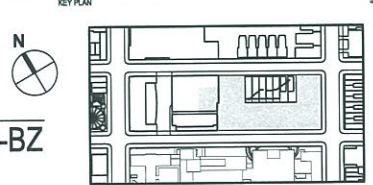
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

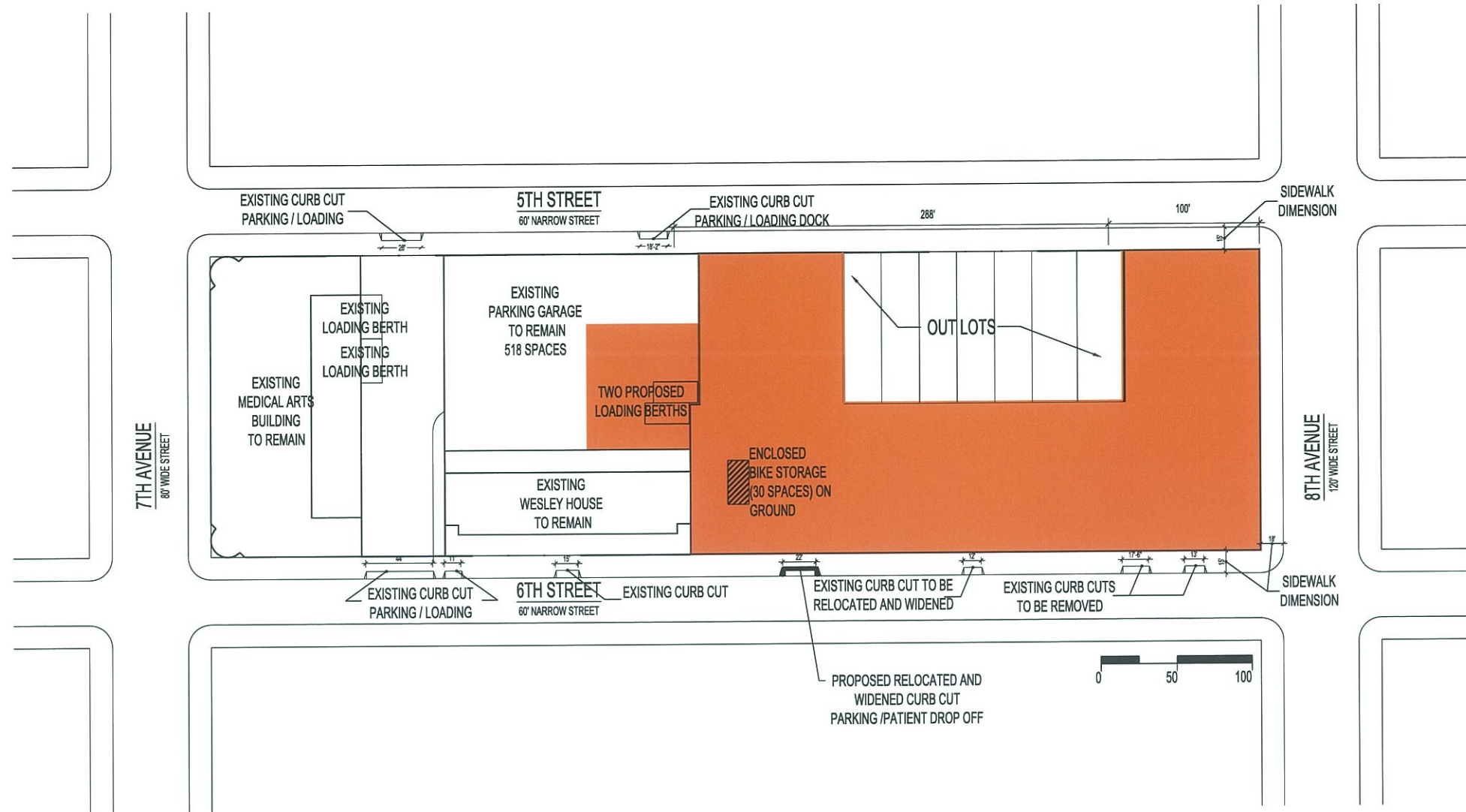
ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Description	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Sections
Rear Yards / Height and
Setback Z-11
Scale: 1" = 64'



- DEVELOPMENT SITE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY

Off-Street Parking 25-30

- a. Required Accessory Off-Street Parking Spaces for Developments or Enlargements - Use Group 4 Ambulatory Diagnostic or Treatment Health Care Facilities = 1 space per 800 SF of floor area.
 - 327,868 SF (includes non-storage cellar space) / 800 SF = 410
- b. Accessory Off-Street Parking Spaces Proposed
 - Existing Parking Spaces = 567
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 393 permitted parking spaces accessory to hospital related uses
 - 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
 - Existing to be remain = 480
 - 480 spaces in garage and parking deck (38 spaces to be eliminated)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 246 permitted parking spaces accessory to hospital related uses
 - d. 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
 - e. 60 required spaces accessory to new development
 - 0 spaces in doctors' lot (to be demolished)
 - Proposed additional spaces = 350
 - Total spaces accessory to new development = 410 (60 spaces in existing garage and parking deck and 350 new spaces)

Location of Access to the Street 25-63 and 25-631

- a. Permitted: 1 curb cut per street frontage of zoning lot maximum width of 22'
- b. Curb Cuts
 - 6th Street: 6 existing and 1 to be relocated
2 to be removed
 - Provided: 4 curb cuts COMPLIES
 - 5th Street: 2 existing
 - (see BSA Special Permit, 11 January 1994, Cal. # 142 92-BZ)
 - Provided: 2 curb cuts COMPLIES

Accessory Off-Street Loading Berths 25-72

Location of Access to the Street 25-75

- a. Accessory Off-Street Loading Berths Required for Developments or Enlargements - Use Group 4 Ambulatory Diagnostic or Treatment Health Care Facilities = None
- b. Accessory Off-Street Loading Berths Proposed
 - Existing loading berths = 2
 - Proposed additional loading berths = 2
- c. Loading Curb Cuts
 - Not permitted within 50 ft. of an intersection of any two street lines.
 - COMPLIES

Bicycle Parking 25-80, 25-83

- a. Enclosed Accessory Bicycle Parking Spaces Required for Developments or Enlargements - Use Group 4 Ambulatory Diagnostic or Treatment Health Care Facilities
 - 1 per 10,000 SF of floor area, 15 SF per space
 - 298,350 SF / 10,000 SF = 30 spaces, 450 SF
- b. Accessory Bicycle Parking Space Provided
 - Proposed Enclosed Spaces = 30 spaces, 450 SF
 - COMPLIES

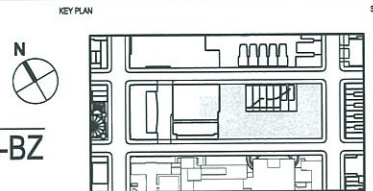
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.
Brooklyn, NY 11215

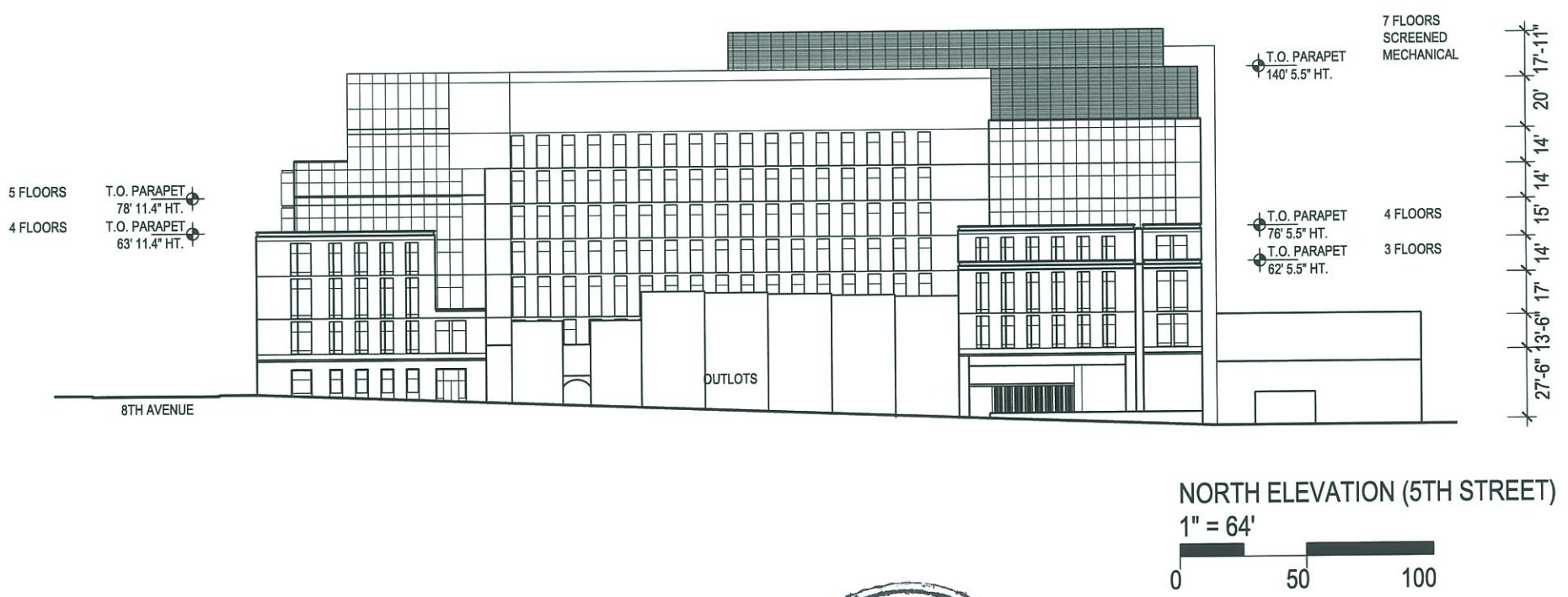
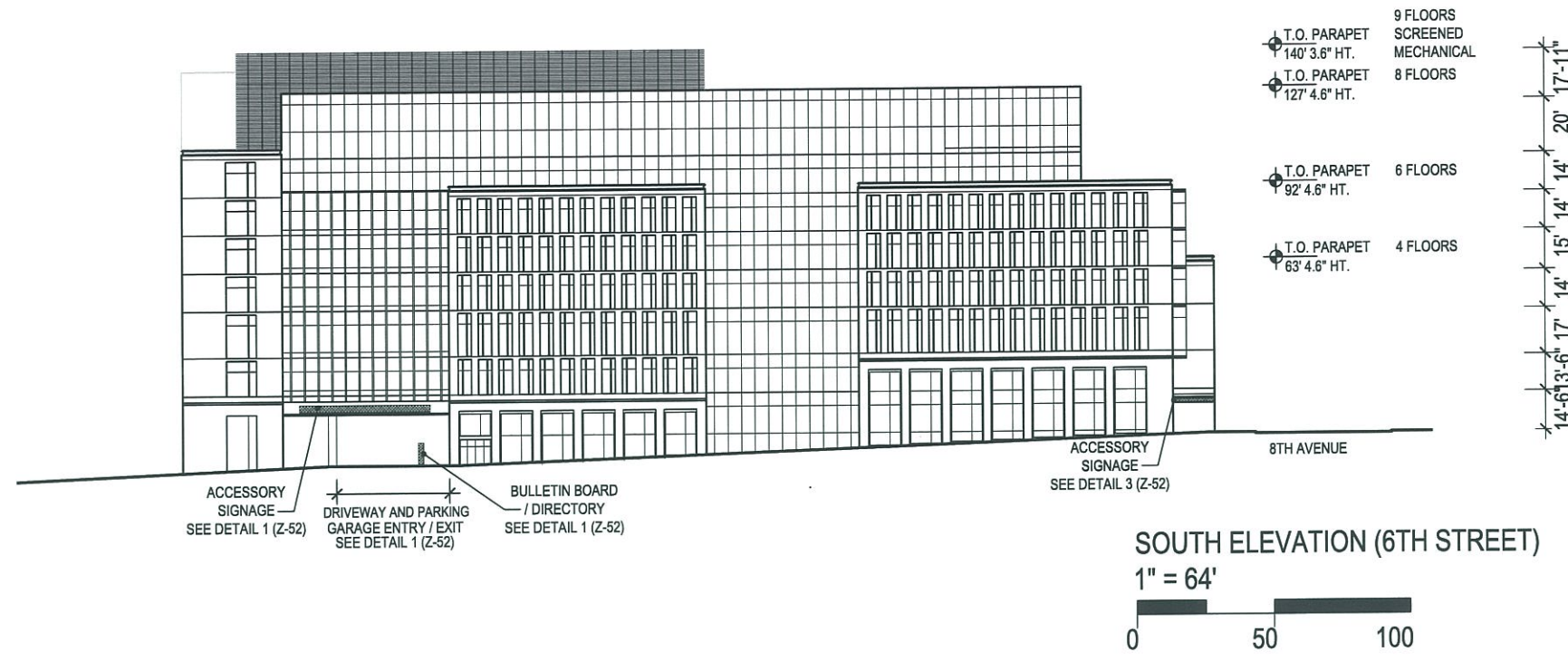
ARCHITECT: PERKINS EASTMAN
115 5th Ave.
New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
Loading Berths/Parking
Curb Cuts Z-12**
Scale: 1" = 64'



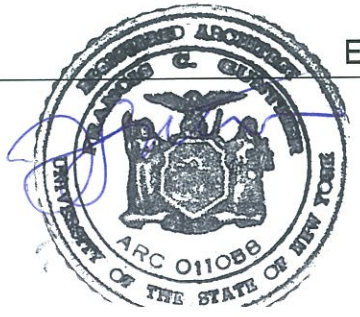
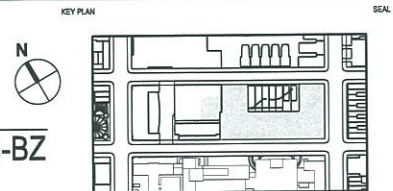
ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

PROJECT TITLE
The Center for Community Health
541 6th St. Brooklyn, NY 11215

OWNER
NYM HOSPITAL
506 6th St.
Brooklyn, NY 11215

ARCHITECT
PERKINS EASTMAN
115 5th Ave.
New York, NY 10003

BSA Cal. No. 289-13-BZ



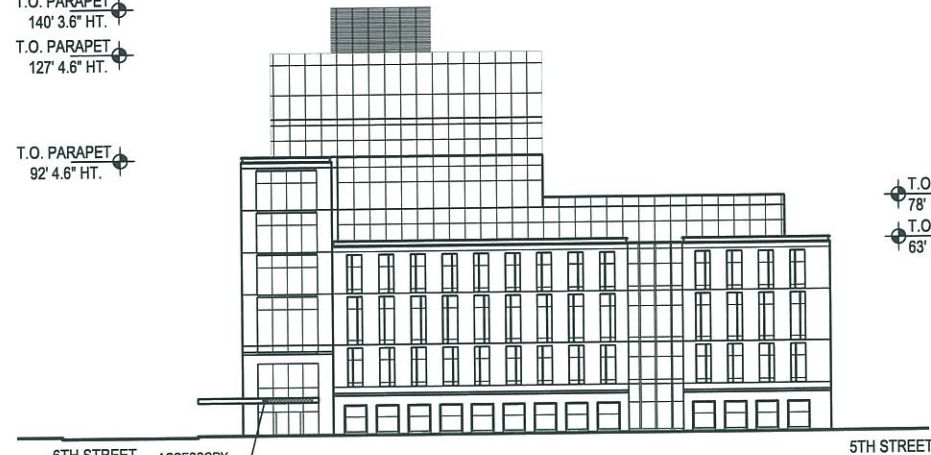
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Elevations
North/South Z-13
Scale: As Noted

9 FLOORS
SCREENED
MECHANICAL
T.O. PARAPET
140' 3.6" HT.

8 FLOORS
SCREENED
MECHANICAL
T.O. PARAPET
127' 4.6" HT.

6 FLOORS
T.O. PARAPET
92' 4.6" HT.



EAST ELEVATION (8TH AVE.)
1" = 64'

17'-11"
20'
14'
14'
15'
14'
17'
14'-6" 3'-6"

T.O. PARAPET 5 FLOORS
78' 11.4" HT.

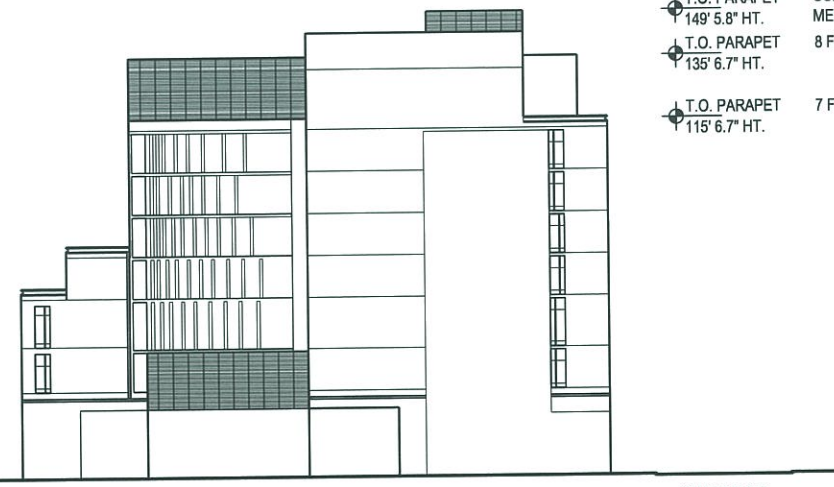
T.O. PARAPET 4 FLOORS
63' 11.4" HT.

8 FLOORS
SCREENED
MECHANICAL
T.O. PARAPET
140' 5.5" HT.

7 FLOORS
T.O. PARAPET
119' 5.5" HT.

4 FLOORS
T.O. PARAPET
76' 5.5" HT.

3 FLOORS
T.O. PARAPET
62' 5.5" HT.



WEST ELEVATION
1" = 64'

17'-11"
20'
14'
14'
15'
14'
17'
14'-6" 13'-8"

T.O. PARAPET 9 FLOORS
SCREENED
MECHANICAL
149' 5.8" HT.

T.O. PARAPET 8 FLOORS
135' 6.7" HT.

T.O. PARAPET 7 FLOORS
115' 6.7" HT.

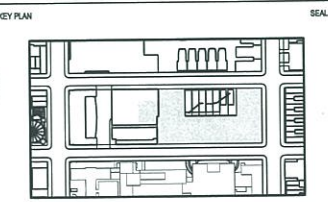
ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

PROJECT TITLE
The Center for Community Health
541 6th St. Brooklyn, NY 11215

OWNER
NYM HOSPITAL
506 6th St.

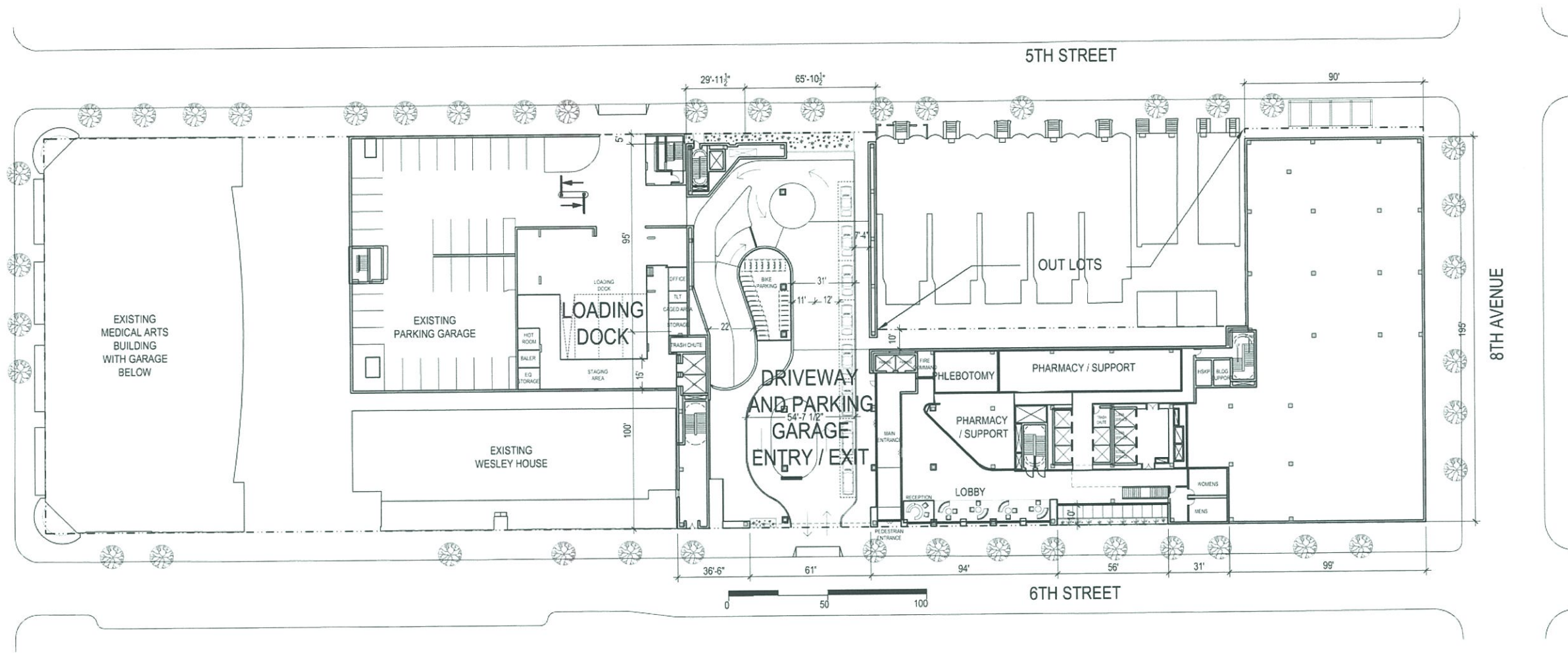
ARCHITECT
PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Elevations
North/South Z-14
Scale: As Noted



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATE JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON GALLAS SURVEYING GROUP DRAWING G13052 DATED 04-30-2013

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOI
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

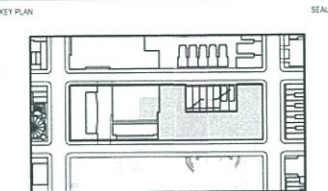
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 New York, NY 10015

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
 Ground
 Floor Plan** Z-15
 Scale: 1" = 64'

5TH STREET

IMAGING
90'

29'-11 1/2"

65'-10 1/2"

52'-6"

17'-1"

SIDEWALK VAULTS

IMAGING

ZONE 3

ZONE 2

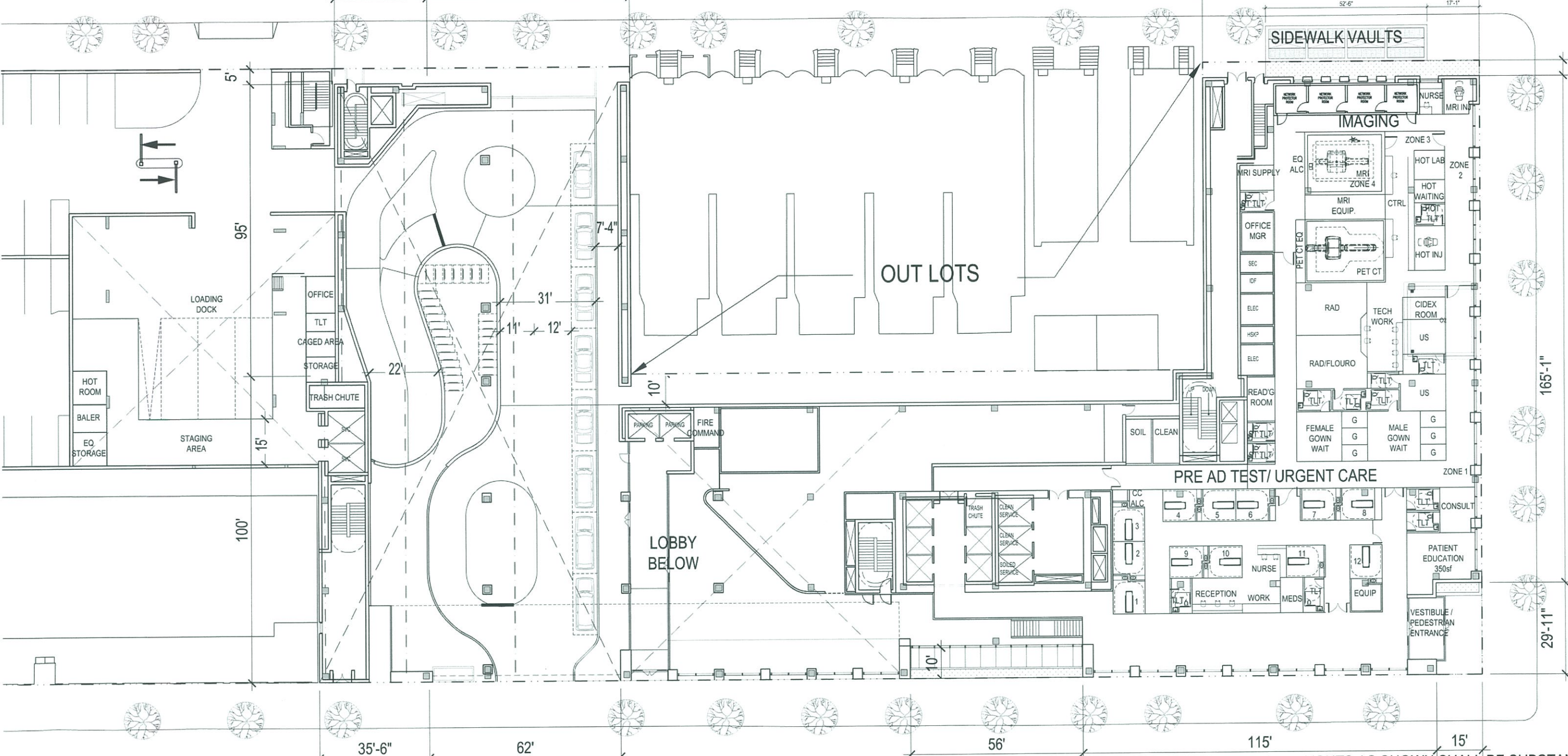
ZONE 1

OUT LOTS

8TH AVENUE

165'-1"

29'-11"



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
-MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

6TH STREET

0 50 100

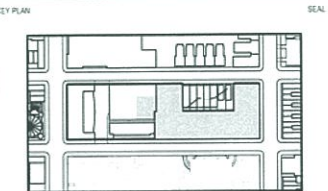
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St. Brooklyn, NY 11215

ARCHITECT: PERKINS EASTMAN
115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
First
Floor Plan Z-16
Scale: 1" = 32'

5TH STREET

90'

95'-10"

POST-ANESTHESIA CARE UNIT
PACU (36)

SPECIAL PROCEDURES

OUT LOTS

BOILER PLANT

ROOF OF 1

GREEN ROOF ROOF OF 1 LANDSCAPED ROOF

PACU (18)

8TH AVENUE

165'

100'

30'

PRE-OP (10)

35'-6"

62'

94'

56'

115'

15'

6TH STREET



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY
COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE
-MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL
BE APPROVED BY DOB

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.
ARCHITECT: PERKINS EASTMAN
115 5th Ave.
NEW YORK, NY 10003

BSA Cal. No. 289-13-BZ



No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Second

Floor Plan

Z-17

Scale: 1" = 32'

5TH STREET

95'-10"

90'

SURGERY

ENT

ROOF OF 2

OUT LOTS

176'

ROOF OF 1 LANDSCAPED ROOF

8TH AVENUE

165'

30'

ROOF OF 2

ROOF OF 1

95'

100'

35'-6"

62'

94'

56'

115'

15'

6TH STREET



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
-MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

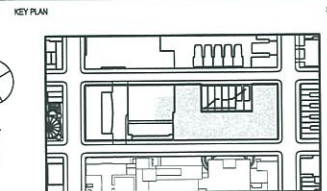
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.
New York, NY 11215

ARCHITECT: PERKINS EASTMAN
115 5th Ave.
New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
Third
Floor Plan Z-18
Scale: 1" = 32'

5TH STREET

95'-10"

20'

70'

HYPER BARIC CHAMBER

ROOF OF 3
CENTRAL STERILE SUPPLY

ROOF OF 2

EXAM EXAM EXAM EXAM ALC OFFICE

SOIL CARTS DECONTAM
ANTE HSKP HSKP CART WASH
ANTE PREP & PACK
CLEAN CARTS (3) STERILIZ
STERILE STORAGE
MATERIALS MANAGEMENT
OFFICE MGR

OUT LOTS
176'

CHAMBER A
CHAMBER B
CHAMBER C
CHAMBER D

CLEAN SOIL COMPRESSOR ROOM GAS CYL. STOR

ROOF OF 2

80'

5'-8"

NURSE
DOWN GOWN
GOWN GOWN
IDF
SEC
ELEC
HSKP
EMERG ELEC

MA 16 17 18 CC ALC

ROOF OF 1

100'

ROOF OF 1
LANDSCAPED ROOF

15 14 13
MA 11 12

10 9 8 7
MA 4 5 6

1 2 3
(ST) (ST)

FROZEN SECTION SECURITY IT SUPPORT SHELL

MEN LOCKER
LACTATION
WOMEN LOCKER

IT TRAINING

RECEPT

WAITING

RECEPT SHARED OFFICE

CARDIOLOGY

35'-6"

62'

94'

56'

115'

15'

6TH STREET



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
-MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

8TH AVENUE

165'

30'

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL, 506 6th St., New York, NY 10015
ARCHITECT: PERKINS EASTMAN, 115 5th Ave., New York, NY 10003

BSA Cal. No. 289-13-BZ

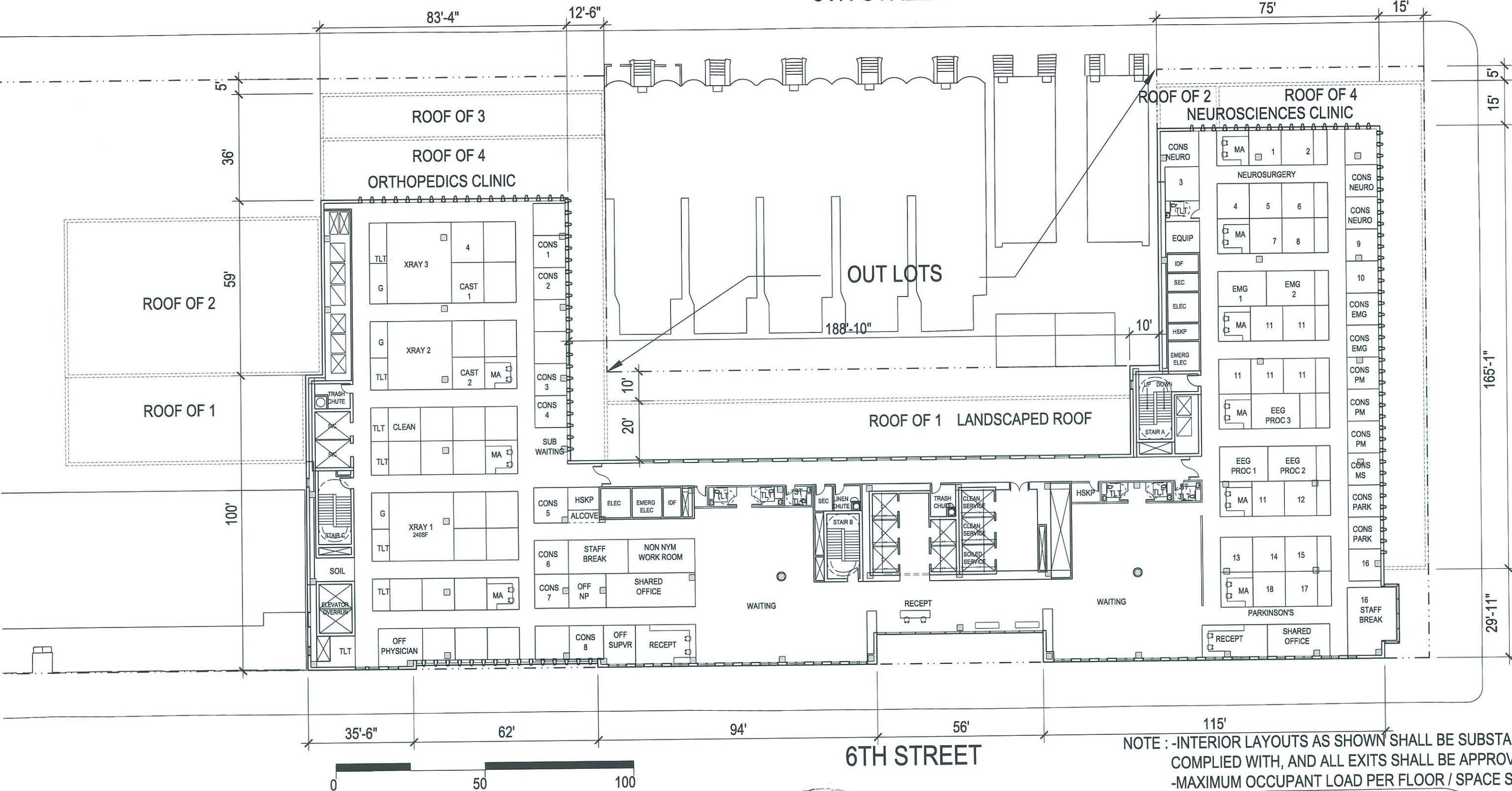


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Fourth Floor Plan Z-18A
Scale: 1" = 32'

5TH STREET

8TH AVENUE



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DO
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

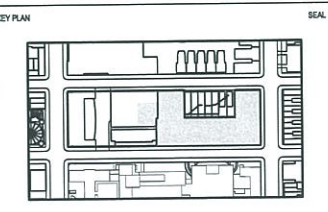
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

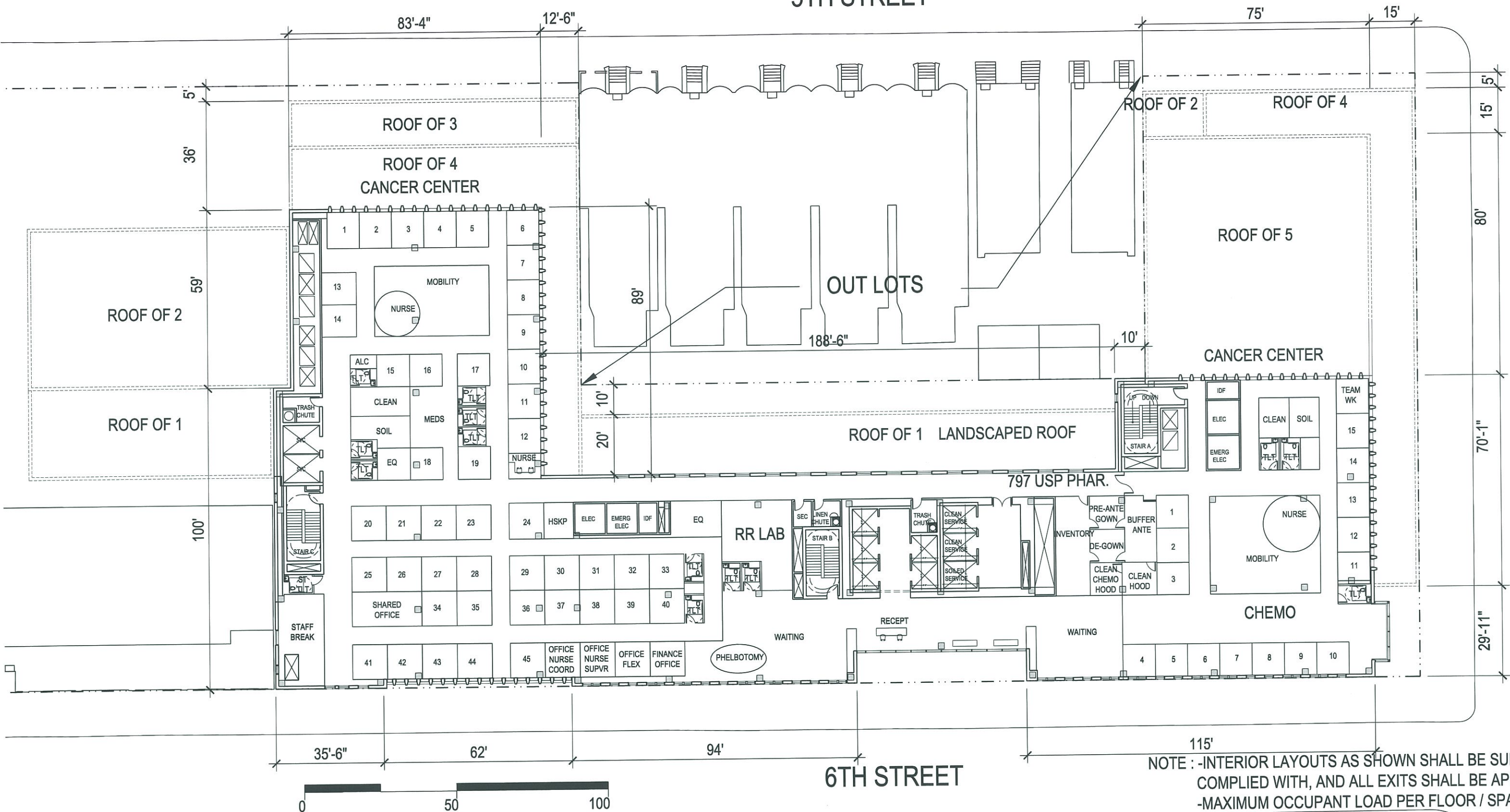
BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
 Fifth
 Floor Plan Z-19
 Scale: 1" = 32'

5TH STREET



8TH AVENUE

6TH STREET

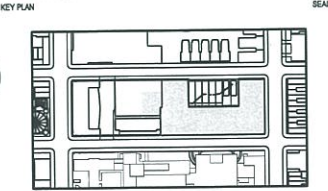
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DO
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL, 506 6th St.
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave.

BSA Cal. No. 289-13-BZ

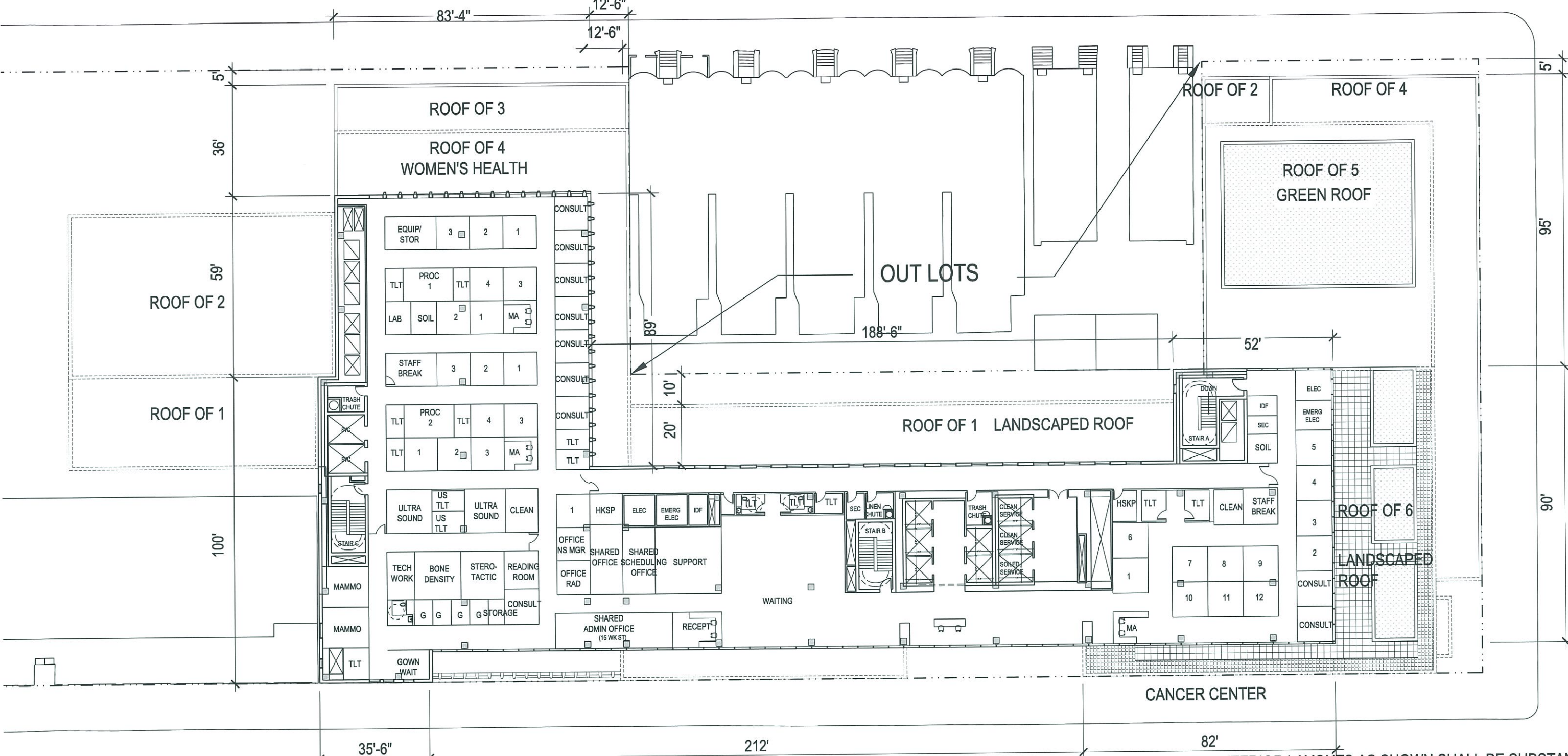


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed Sixth Floor Plan Z-19A
 Scale: 1" = 32'

5TH STREET

8TH AVENUE



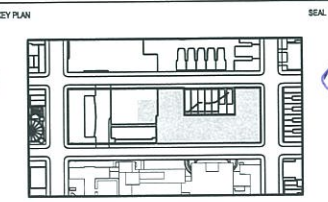
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 ARCHITECT: PERKINS EASTMAN
 115 5th Ave.
 NEW YORK, NY 10003

BSA Cal. No. 289-13-BZ

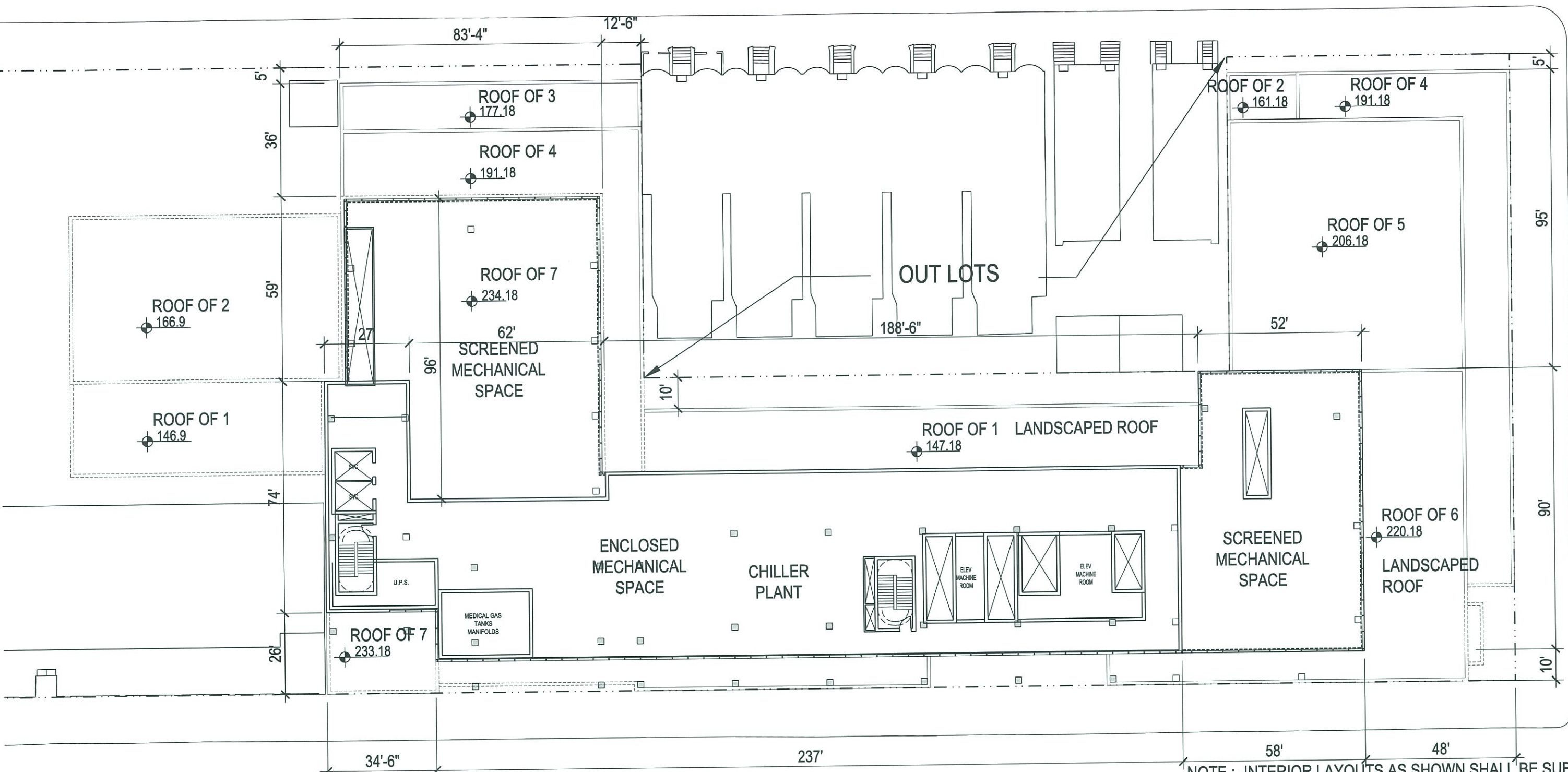


No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
 Seventh
 Floor Plan Z-20
 Scale: 1" = 32'

5TH STREET

8TH AVENUE



6TH STREET

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

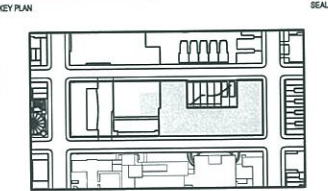
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ

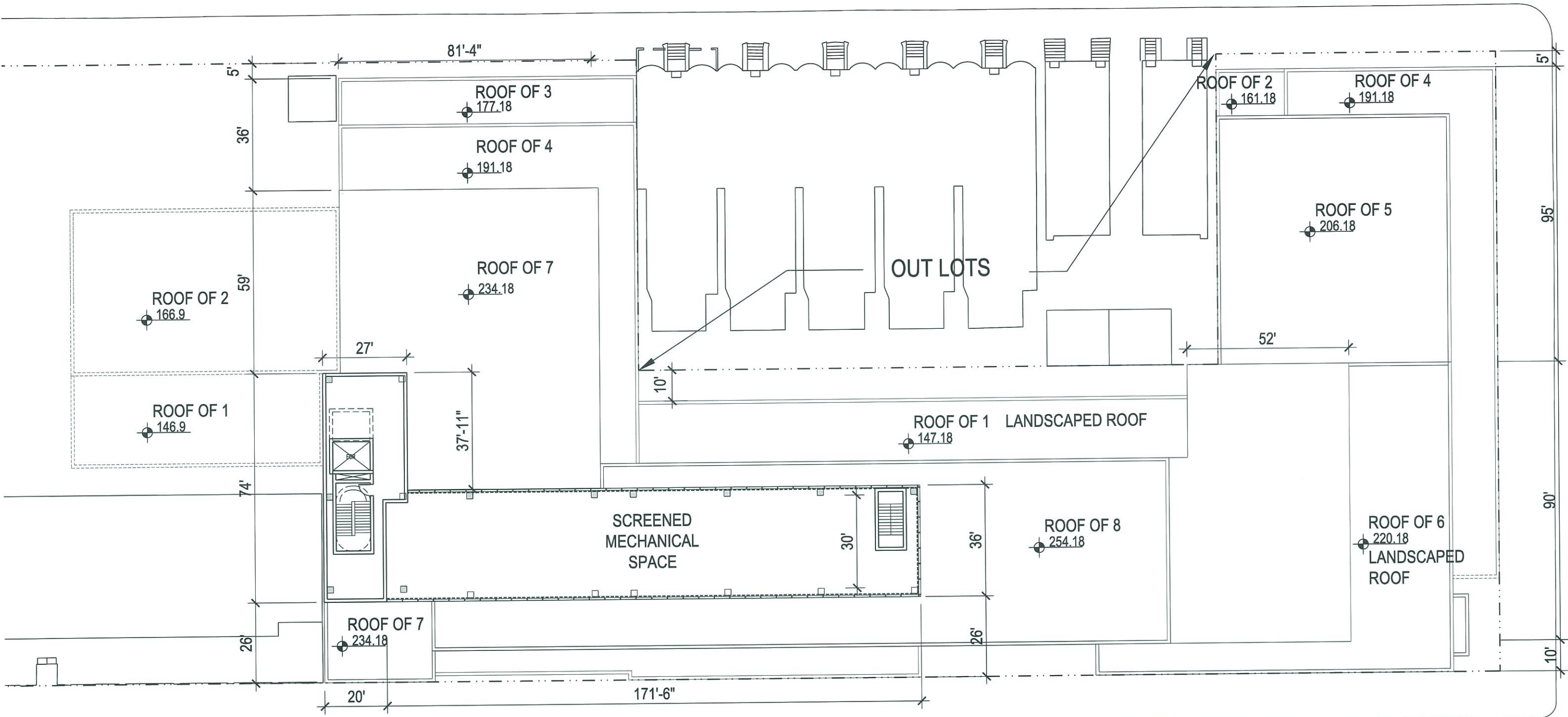


No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

Proposed
 Eighth Mech
 Floor Plan Z-21
 Scale: 1" = 32'

5TH STREET

8TH AVENUE



6TH STREET

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOI
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB



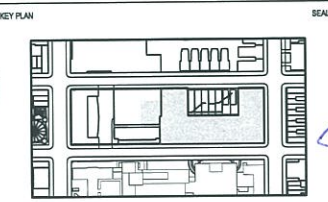
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.

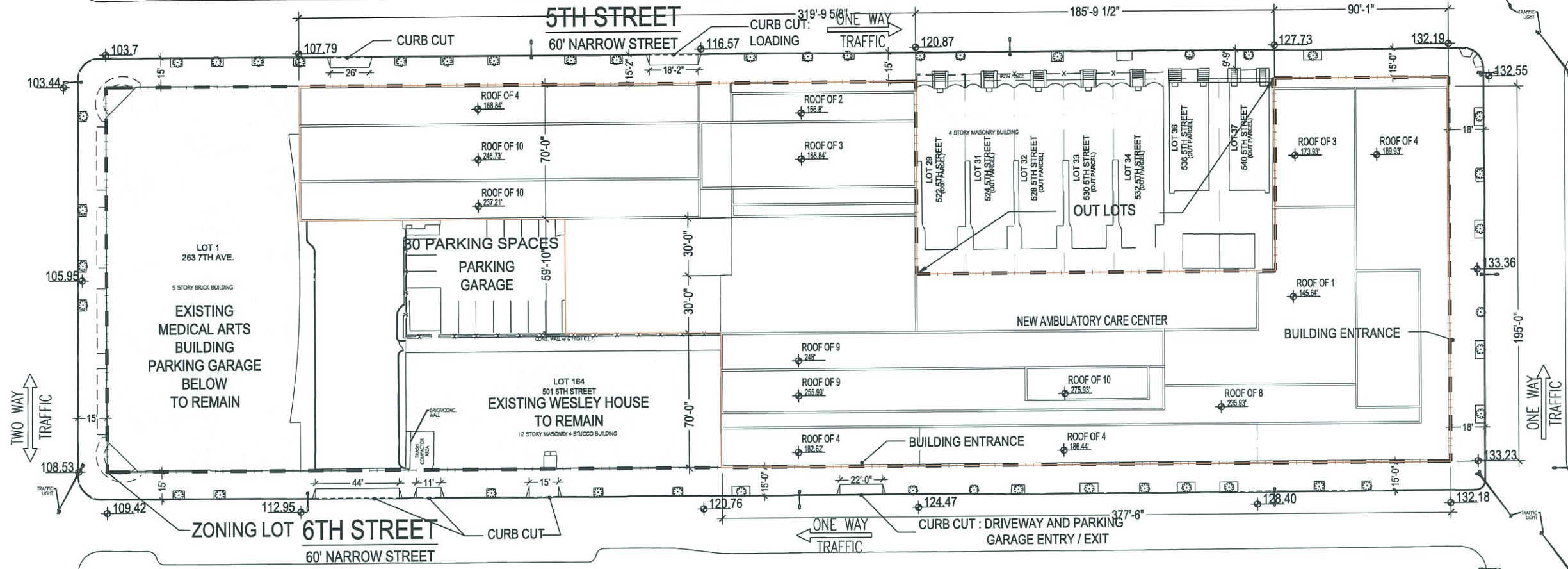
ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
 Ninth Mech
 Floor Plan Z-22**
 Scale: 1" = 32'



- - - ZONING LOT BOUNDARY
 - - - DEVELOPMENT SITE BOUNDARY
 [Symbol] STREET TREE
 [Symbol] PARKING LOT LIGHT
 [Symbol] STREET LIGHT
 0 50 100

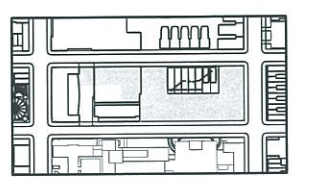
541 6TH STREET
 PARK SLOPE, BROOKLYN
 BLOCK 1084
 LOTS 39, 164, 1001, 1002

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Site Plan

Scale: 1" = 64'

Z-23

Applicable ZR Section Maps

22-11,12
22-13,14
32-15

24-11
33-121
24-11
24-11

24-11

Block 1084, Lots 39, 164, 1001, 1002

1. Zoning Districts: Map 16C

- R6 & R6/C1-3
- R6B
- R7B

2. Lot Area = 120,569 SF

- R6 = 100,348
- R6/C1-1 = 20,000 SF (included in R6 Lot Area)
- R6B = 11,213 SF
- R7B = 9,008 SF

3. Permitted Uses

- Use Groups (UG)
- Residential: UG 1, 2
 - Community Facility: UG 3, 4
 - Commercial: UG 6 (C1-3 commercial overlay district only)

4. Uses

- a. Existing Uses
- UG 4: Non-profit or voluntary hospitals and related facilities.
 - UG 3: Non-profit hospital staff dwelling
- b. Proposed Uses
- Existing Uses to Remain: UG 4, UG6 and UG 3 to remain
 - Proposed: UG 4A Ambulatory diagnostic and health treatment care facility. COMPLIES

5. Floor Area

- a. Floor Area Permitted (See Z-27)
- Maximum FAR
- R6 = 4.80
 - R6/C1-1 = 4.80
 - R6B = 2.0
 - R7B = 3.0
- Maximum Zoning Floor Area (ZFA)
- R6 = 481,670 ZFA (includes R6/C1-3) (100,348 SF x 4.8 = 481,670 ZFA)
 - R6B = 22,426 ZFA (11,213 SF x 2 = 22,426 ZFA)
 - R7B = 27,024 ZFA (9,008 SF x 3 = 27,024 ZFA)
- Total permitted ZFA for zoning lot: 531,120

b. Floor Area Proposed

- R6
- Existing ZFA to Remain = 73,720 ZFA Med Arts Bldg.
 - Existing ZFA to Remain = 87,814 ZFA Wesley House
 - Proposed additional ZFA = 259,112 ZFA (See Z-25)
 - Total Proposed ZFA = 420,736 ZFA COMPLIES
- R6B
- Existing ZFA to Remain = 0 ZFA
 - Proposed additional ZFA = 22,425 ZFA (See Z-25)
 - Total Proposed ZFA = 22,425 ZFA COMPLIES
- R7B
- Existing ZFA to Remain = 0 ZFA
 - Proposed additional ZFA = 26,600 ZFA (See Z-25)
 - Total Proposed ZFA = 26,600 ZFA COMPLIES

Total Proposed additional ZFA for Zoning Lot = 308,137 ZFA
Total Proposed ZFA for Zoning Lot = 469,761 ZFA
(Existing to Remain and Proposed) COMPLIES (See Z-25)

6. Lot Coverage

- a. Lot Coverage Permitted.
- R6
 - Corner Lots A, B = 14,000 SF (10,000 SF x 70% + 10,000 SF x 70%)
 - Corner Lots C = 7,000 SF (10,000 SF x 70%)
 - Through Lot A = 27,001.4 SF (41,556 SF x 65%)
 - Interior Lot = 11,447.2 SF (17,611 SF x 65%)
 - Through Lot B = 7,288 SF (11,213 SF x 65%)
 - R6B
 - Through Lot B = 6,727.8 SF (11,213 SF x 60%)
 - R7B
 - Corner Lot D = 7,206 SF (9,008 SF x 80%)

Total Lot Coverage Permitted = 80,670.4 SF

- b. Existing Lot Coverage To Remain 25-31
- R6
 - Corner Lots A, B = 14,000 SF/Corner Lot
 - Through Lot A = 7285 SF
- c. Proposed Lot Coverage (See Z-27)
- R6
 - Corner Lot C = 6,990 SF: COMPLIES
 - Through Lot A = 14,559 SF(Includes exiting to remain) : COMPLIES
 - Interior Lot = 10,919 SF: COMPLIES
 - Through Lot B = 7,140 SF: COMPLIES
 - R6B w/R6
 - Through Lot B = 6,728 SF: COMPLIES
 - R7B
 - Corner Lot D = 7,206 SF: COMPLIES
- Total Coverage Proposed = 53,542 SF (see Z-27)

7. Side Yards

- None required in R6, R6B, and R7B districts COMPLIES

8. Rear Yards/Rear Yard Equivalents

- a. Required (See Z-28)
- b. Existing to Remain: See BSA Variance (11 January 1994, Cal.# 142-92-BZ)
- R6 (Corner Lots A,B): Existing to Remain
Rear yard not required within 100 ft. of a corner.
 - R6 (Through Lot A)
Rear yard equivalent: COMPLIES

c. Proposed (See Z-28 - Z-33)

- R6B/R6 (Through Lot B)
 - Rear yard equivalent: COMPLIES
- R6 (Interior Lot)
 - 30 ft. rear yard provided. COMPLIES
- R6 (Corner Lot C)
 - Rear yard not required within 100 ft. of a corner. COMPLIES
- R7B (Corner Lot D)
 - Rear yard not required within 100 ft. of a corner. COMPLIES

9. Height and Setback

- a. Required 25-72
- R6
 - Max Height of Front Wall: 60 ft. or 6 stories whichever is less
 - Required 20 ft. setback above 60 ft. at narrow street
 - Required 15 ft. setback above 60 ft. at wide street
 - Required rear yard line setback of 20 ft. above 125 ft.
 - R6B
 - Min 30 ft. base height, Max 40 ft. base height
 - Max 50 ft. building height
 - Required 15 ft. setback above base from street wall
 - Required rear yard line setback of 10 ft. above max base height
 - R7B
 - Min 40 ft. base height, Max 60 ft. base height
 - Max 75 ft. building height
 - Required 15 ft. setback above base at street wall on narrow street
 - Required rear yard line setback of 10 ft. above max base height
- b. Existing to remain.
- R6
 - Wide Street: See BSA Variance (11 January 1994, Cal. #142-92-BZ)
 - Narrow Street: See BSA Variance (11 January 1994, Cal. #142-92-BZ)
- c. Proposed (See Z-29 - Z-33)
- R6
 - Narrow Street: COMPLIES
 - Wide Street: COMPLIES
 - Rear yard line setback: COMPLIES
 - R6B
 - Narrow Street: COMPLIES
 - Rear yard line setback: COMPLIES
 - R7B
 - Narrow Street: COMPLIES
 - Wide Street: COMPLIES

10. Parking

- a. Required Accessory Off-Street Parking Spaces for Developments and Enlargements – UG 4 Ambulatory Diagnostic or Treatment Health Care
- 1 space per 800 SF of floor area (including non-storage cellar space) 339,557 SF / 800 SF = 425 required spaces
- b. Accessory Off-Street Parking Spaces Proposed:
- Existing Parking Spaces = 567
 - 518 spaces (see BSA Special Permit, 11 January 1994, Cal. # 142-92-BZ)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 353 permitted parking spaces accessory to hospital related uses
 - 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
 - Existing to be remain = 478
 - 478 spaces spaces in garage and parking deck (38 spaces to be eliminated)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 353 permitted parking spaces accessory to hospital related uses
 - 0 spaces in doctors' lot (to be demolished)
 - Proposed additional spaces = 514
 - 425 required parking spaces accessory to the new development
 - 40 permitted spaces accessory to existing hospital related uses, replacing eliminated spaces in existing garage and parking deck
 - 49 required spaces accessory to existing hospital uses on Block 1086, replacing eliminated spaces in existing doctors' lot
- (see Z-34) COMPLIES

11. Curb Cuts for Accessory Off-Street Parking

- Permitted: 1 curb cut per street frontage of zoning lot maximum width of 22' (see Z-34)
- 6th Street: 6 existing (3 to remain, 2 to be removed, 1 to be relocated and widened) COMPLIES
 - 5th Street: 2 existing to remain COMPLIES

12. Accessory Off-Street Loading Berths

- a. Accessory Off-Street Loading Berths Required for Developments or Enlargements – UG4A Ambulatory Diagnostic or Treatment Health care Facilities NONE
- b. Accessory Off-Street Loading Berths Proposed
- Existing loading berths = 2 See BSA Variance (11 January 1994 Cal # 142-92-BZ)
Proposed additional loading berths = 3 loading berths COMPLIES (See Z-34)
- c. Accessory Off-Street Loading Berth Curb Cuts
- Not permitted within 50 ft. of an intersection of any two street lines
Existing within 50 ft. of an intersection = 0
Provided: New curb cuts are not within 50 ft. of an intersection COMPLIES

13. Street Tree Planting

- Street Trees Required for Developments or Enlargements that increase the floor area on a zoning lot by 20% or more.
- 1 Tree/25 ft. of the frontage of the Zoning Lot.
1,605.6 LF/25 ft. = 64 Trees
Existing trees: 30 Trees (1 to be removed)
Proposed additional street trees: 9 Trees
Remaining: (35-9) 26 trees will be provided in accordance with Section 26-41 COMPLIES

14. Signs Regulations

- a. Signage for non-residential buildings is limited to one identification sign no greater than 12 SF. Bulletin board, not exceeding 16 SF, is permitted COMPLIES (See Z-52)

15. Bicycle Parking

- a. Enclosed Accessory Bicycle Parking Spaces Required for Developments and Enlargements – UG 4 Ambulatory Diagnostic or Treatment Health Care
- 1 per 10,000 SF of floor area, 15 SF per space
 - 308,137 ZFA/10,000 = 31 spaces, 465 SF
- b. Accessory Bicycle Parking Spaces Proposed (See Z-34)
Proposed enclosed spaces = 31 spaces, 465 SF COMPLIES

PROJECT TITLE

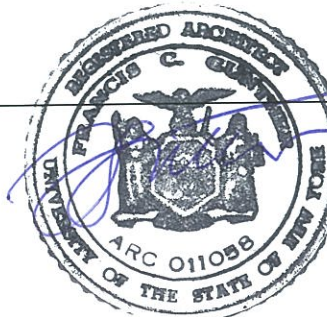
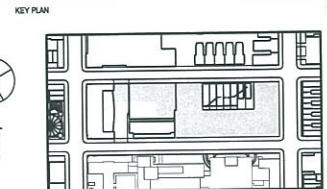
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013
	Date	

**COMPLYING
Zoning Calculations**

Z-24

Scale: As Noted

FLOOR AREA SCHEDULE - AMBULATORY CARE FACILITY (UG4)

FLOOR	ZONING FLOOR AREA (ZFA)
SUB-CELLAR 2	0
SUB-CELLAR 1	0
CELLAR	0
G	19,041
1	45,260
2	52,553
3	50,298
4	43,781
5	26,180
6	26,180
7	26,180
8	16,664
9	1,200
10	800
	308,137

FLOOR AREA SCHEDULE - AMBULATORY CARE FACILITY (UG4)

MEDICAL ARTS BUILDING	73,720
WESLEY HOUSE	87,814
TOTAL ZONING LOT ZFA	469,671

PROJECT TITLE

The Center for Community Health

541 6th St. Brooklyn, NY 11215

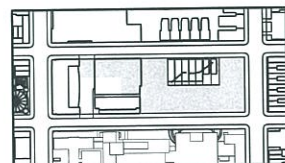
OWNER
NYM HOSPITAL
506 6th St.

ARCHITECT
PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



KEY PLAN



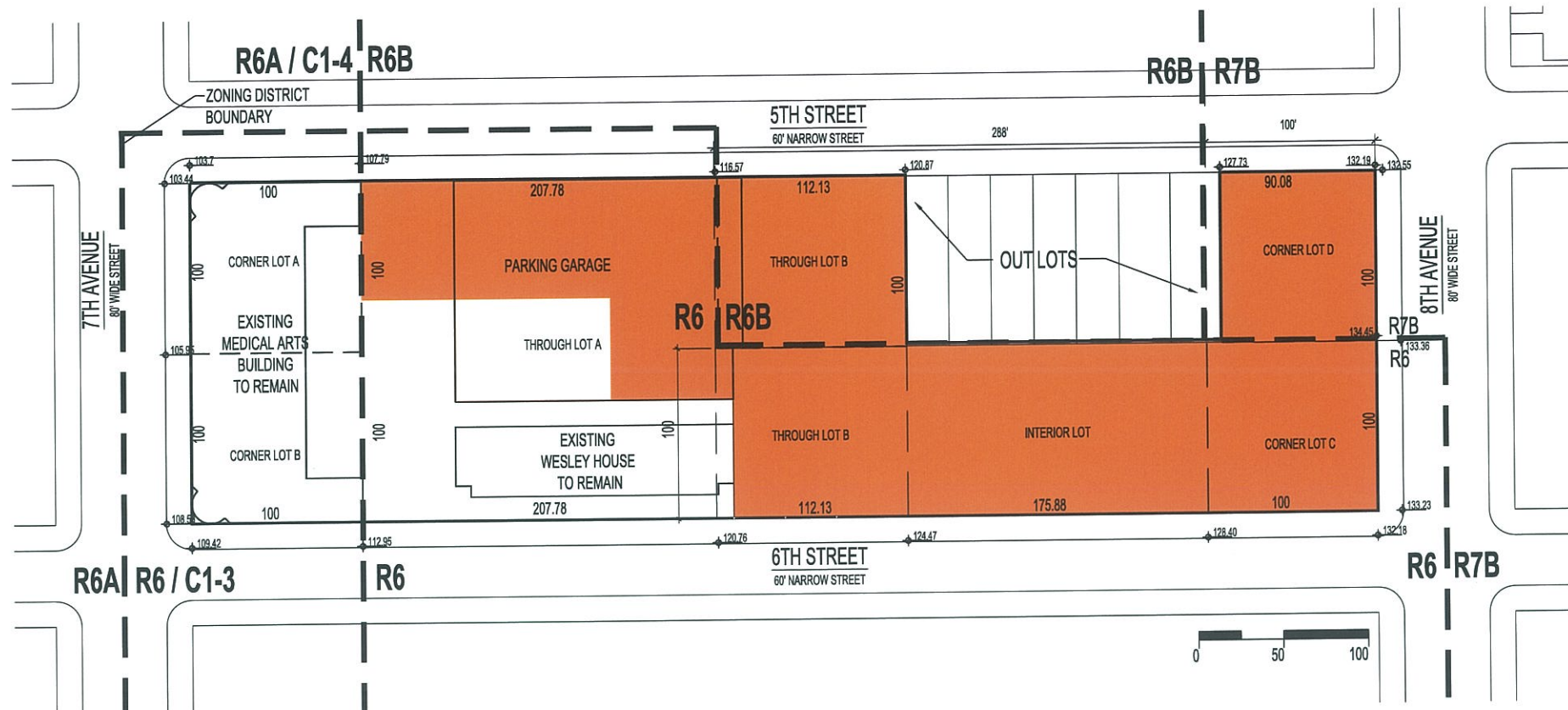
SEAL



5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Schedules

Scale: As Noted



- DEVELOPMENT SITE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY

AVERAGE CURB LEVELS AND BASE PLANE ELEVATIONS:

CORNER LOT A: EL 105.22'
 [5TH ST. : (103.7' + 107.79' / 2) + 7TH AVE. : (103.44' + 105.95' / 2)] / 2 = EL 105.22'

CORNER LOT B: EL 109.21'
 [6TH ST. : (109.42' + 112.96' / 2) + 7TH AVE. : (108.53' + 105.95' / 2)] / 2 = EL 109.21'

THROUGH LOT A (5TH ST.) : EL 112.18'
 [107.79' + 116.57'] / 2 = EL 112.18'

THROUGH LOT A (6TH ST.) : EL 116.86'
 [112.95' + 120.76'] / 2 = EL 116.86'

THROUGH LOT B (5TH ST.) : EL 118.72'
 [116.57' + 120.87'] / 2 = EL 118.72'

THROUGH LOT B (6TH ST.) : EL 122.62'
 [120.76' + 124.47'] / 2 = EL 122.62'

INTERIOR LOT : EL 126.44'
 [124.47' + 128.40'] / 2 = 126.44'

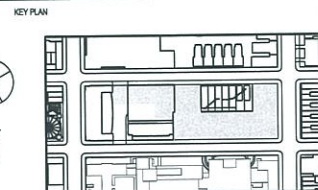
CORNER LOT C: EL 131.8'
 [6TH ST. : (128.4' + 132.18' / 2) + 8TH AVE. : (133.23' + 133.36' / 2)] / 2 = EL 131.8'

CORNER LOT D: EL 131.23'
 [5TH ST. : (127.73' + 132.19' / 2) + 8TH AVE. : (132.55' + 134.45' / 2)] / 2 = EL 131.23'

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215

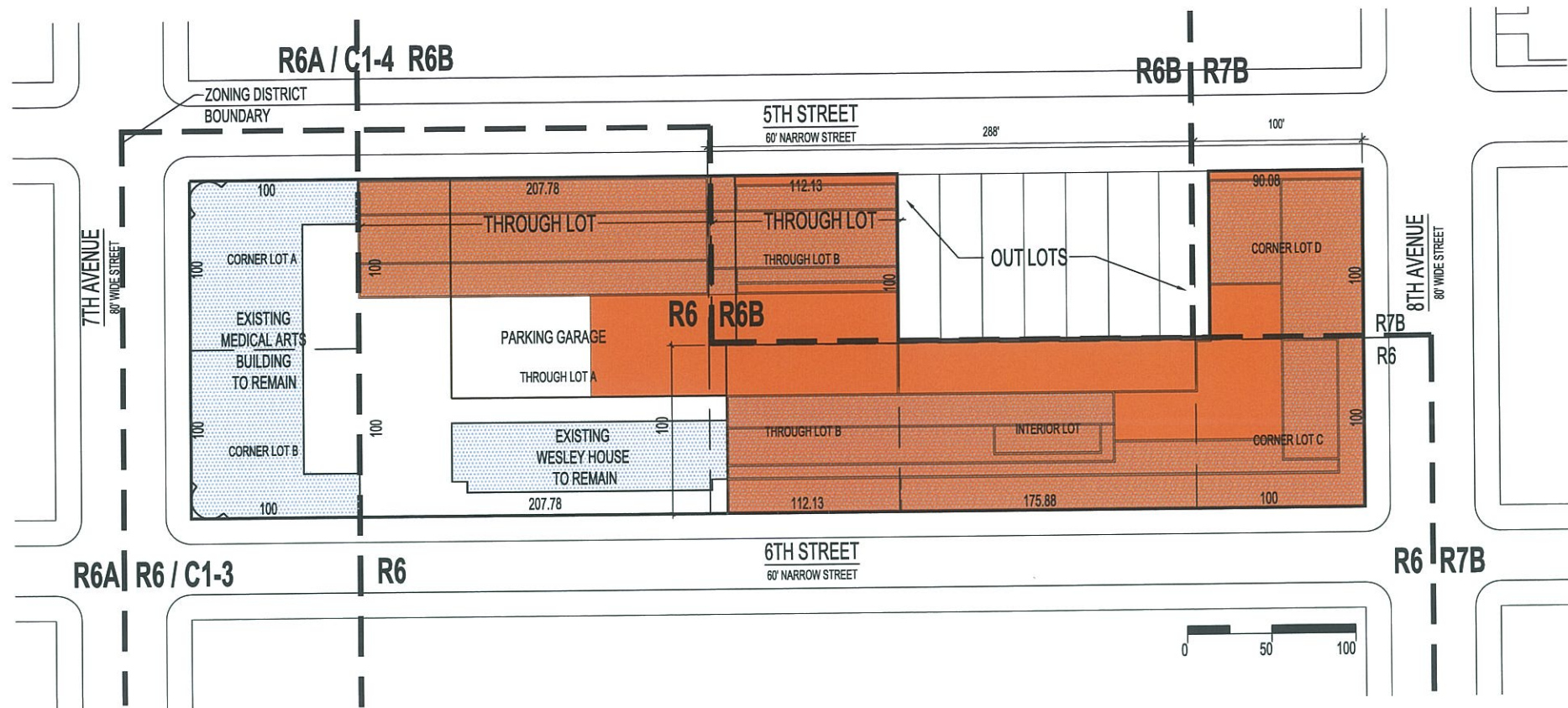
OWNER: NYM HOSPITAL, 506 6th St.
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
 Curb Level
 Base Plane **Z-26**
 Scale: 1" = 96"



- DEVELOPMENT SITE
- LOT COVERAGE
- ZONING LOT BOUNDARY
- ZONING DISTRICT BOUNDARY

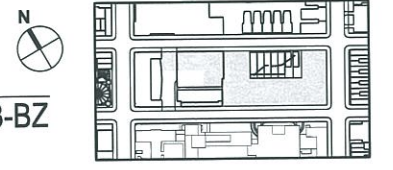
LOT COVERAGE : 24-11, 24-12				
ZONING LOT	LOT AREA (SF) X PERMITTED %	PERMITTED LOT COVERAGE (SF)	EXISTING LOT COVERAGE (SF)	EXISTING LOT COVERAGE (%)
CORNER LOT A	10,000 SF X 70%	7,000	7000	70%
CORNER LOT B	10,000 SF X 70%	7,000	7000	70%
THROUGH LOT A	41,556 SF X 65%	27,011.4	7285	17.5%
THROUGH LOT B (R6B)	11,213 SF X 60%	6,728	0	0%
THROUGH LOT B (R6)	11,213 SF X 65%	7,288	0	0%
INTERIOR LOT	17,611 SF X 65%	11,447.2	0	0%
CORNER LOT C	10,000 SF X 70%	7,000	0	0%
CORNER LOT D	9,008 SF X 80%	7,206	0	0%
SUBTOTAL	120,601 SF X 66.89%	80,680.6	21,285	26%

LOT COVERAGE : COMPLIANCE (CONTINUED)					
ZONING LOT	ADDITIONAL PROPOSED (SF)	ADDITIONAL PROPOSED (%)	TOTAL EXISTING + PROPOSED (SF)	TOTAL EXISTING + PROPOSED (%)	COMPLIANCE
CORNER LOT A	0	0%	7000	70%	COMPLIES
CORNER LOT B	0	0%	7000	70%	COMPLIES
THROUGH LOT A	14,559	35%	21,844	52.5%	COMPLIES
THROUGH LOT B (R6B)	6,728	80%	6,728	80%	COMPLIES
THROUGH LOT B (R6)	7,140	63.6%	7,140	63.6%	COMPLIES
INTERIOR LOT	10,919	62%	10,919	62%	COMPLIES
CORNER LOT C	6,990	69.9%	6,990	69.9%	COMPLIES
CORNER LOT D	7,206	80%	7,206	80%	COMPLIES
SUBTOTAL	53,542	44.4%	74,827	62%	COMPLIES

The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL 506 6th St.
 ARCHITECT: PERKINS EASTMAN 115 5th Ave.

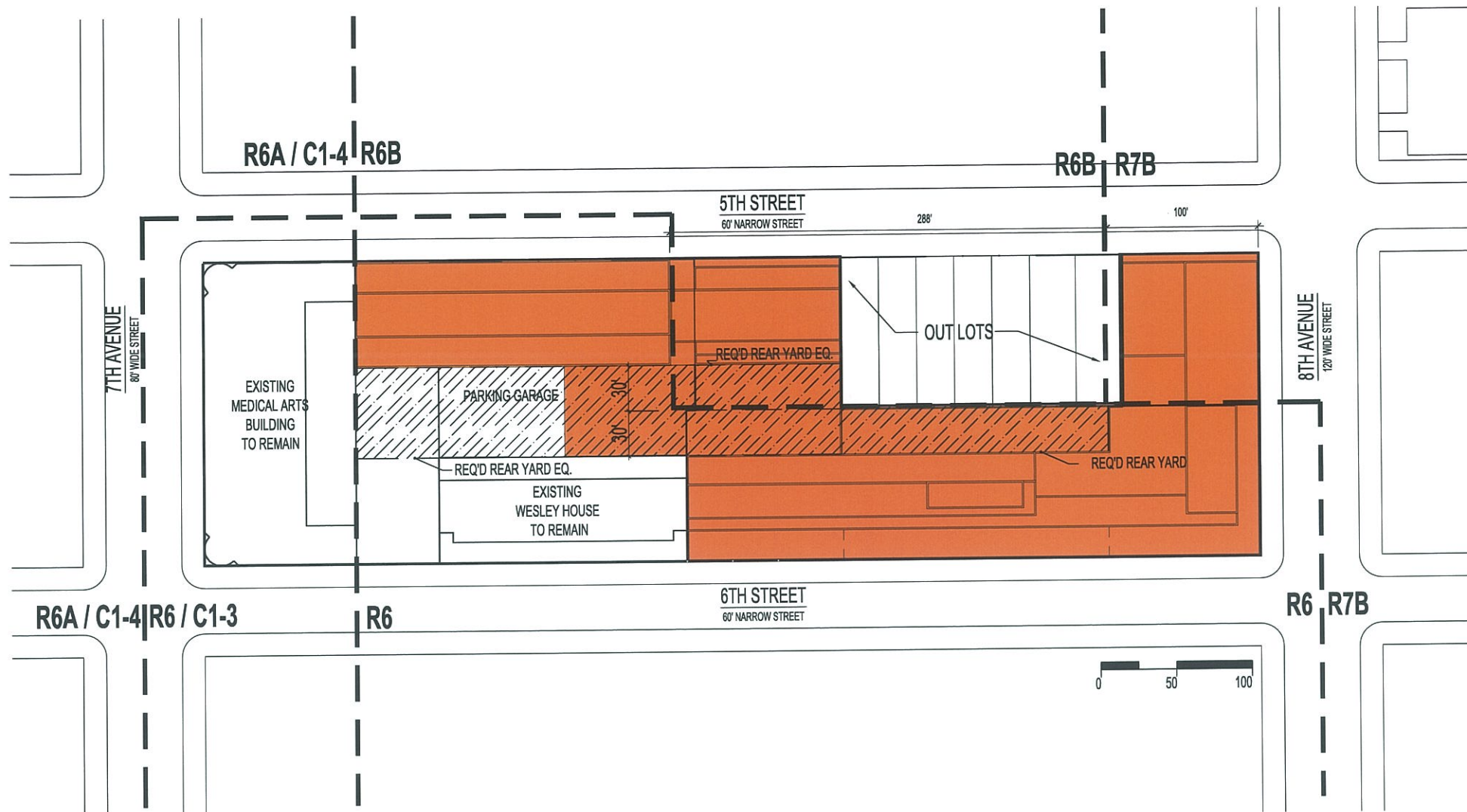
BSA Cal. No. 289-13-BZ



5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Lot Coverage

Scale: 1" = 96"



- DEVELOPMENT SITE
- REAR YARD OR REAR YARD EQ.

- Rear Yards 24-36
 - a. Rear Yards Required
Minimum depth of 30.0' at every rear lot line
Rear yard required for interior lots
 - b. Rear Yards Proposed
Proposed building (Partial) on Interior Lot
COMPLIES
- Rear Yard Equivalents 24-382
 - a. Rear Yard Equivalents Required
Previously identified rear yard equivalents for through lots A (R6) and B (R6/R6B) required as per 24-382(a).
COMPLIES
 - b. Rear Yard Equivalents Proposed
Proposed building (Partial) on Through Lot A (R6)
Proposed building (Partial) on Through Lot B (R6/R6B)
COMPLIES
- Rear Yard Setback 24-552 (R6)
 - a. Rear Yard Requirements
No portion of a building more than 125 ft. above yard level shall be near a rear yard line than 20 ft.
Proposed building (Partial) on Through Lot A (R6)
COMPLIES
Proposed building (Partial) on Through Lot B (R6/R6B)
COMPLIES
Proposed building (Partial) on Interior Lot (R6)
COMPLIES
- Side Yards 24-35
 - a. Side Yards, Not Required
Minimum of 8 ft. if provided at any level.
 - b. Side Yards Proposed
No side yards are proposed.
COMPLIES

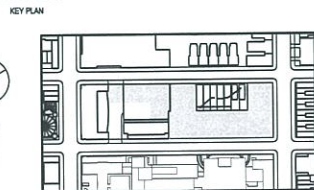
PROJECT TITLE
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



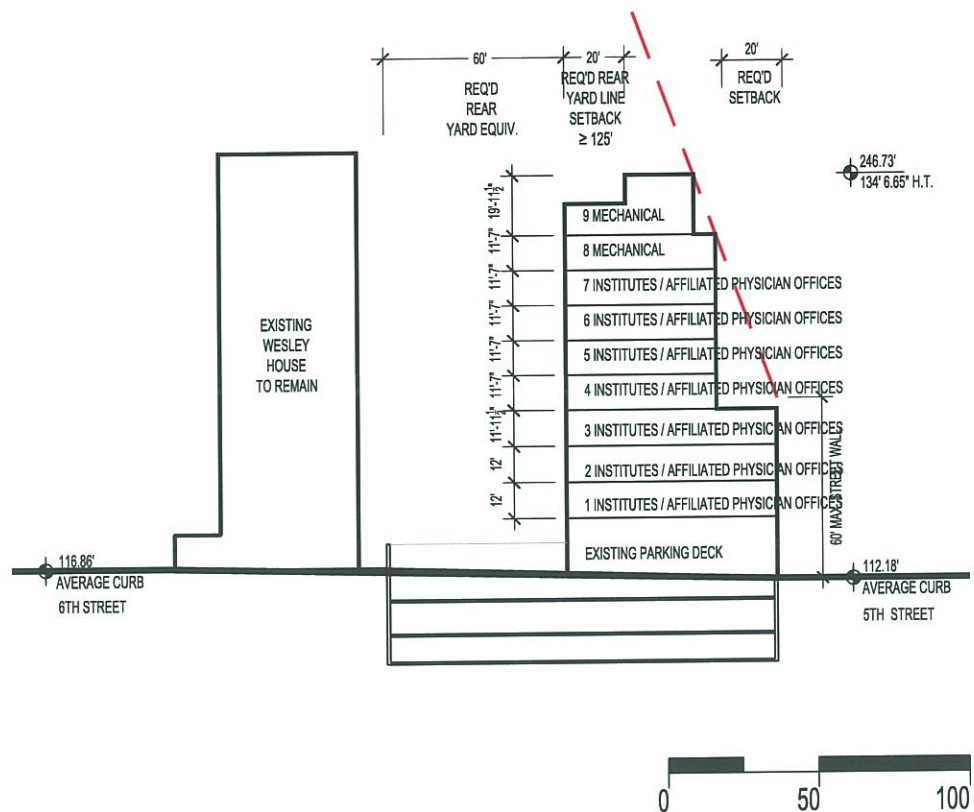
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
Req. Yards

Scale: 1" = 96"

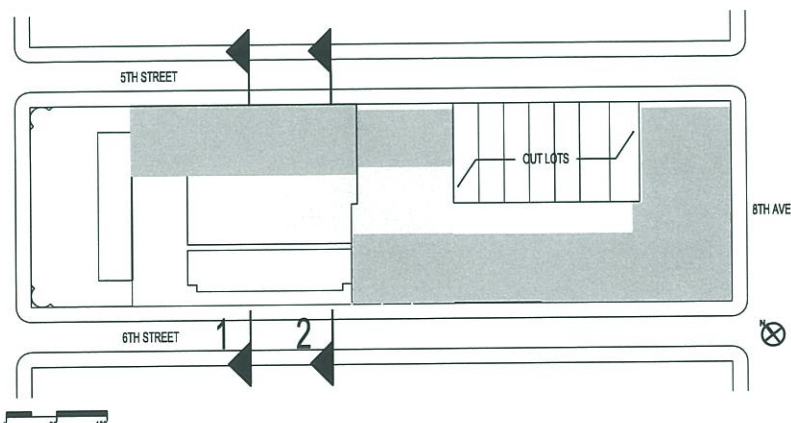
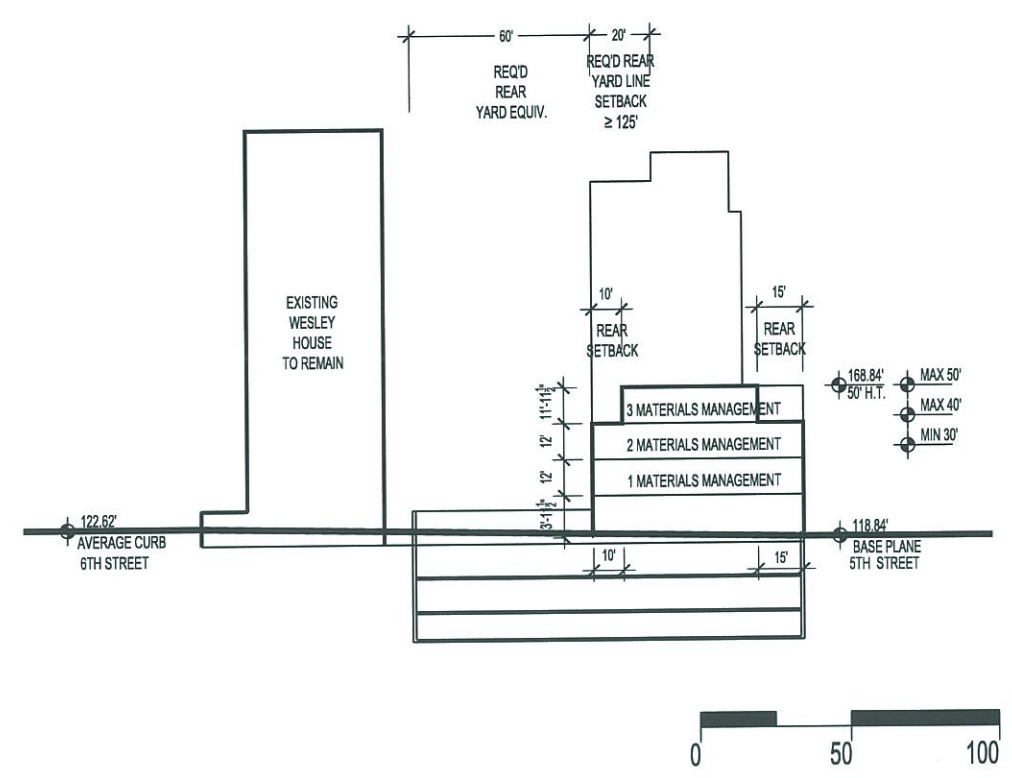
1

THROUGH LOT A: R6



2

THROUGH LOT A: R6

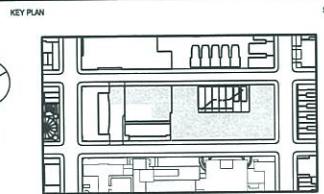


KEY SCALE 1" = 192'
 --- SKY EXPOSURE PLANE

PROJECT TITLE
The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL
 ARCHITECT: PERKINS EASTMAN
 506 6th St. 115 5th Ave.
 BROOKLYN, NY 11215

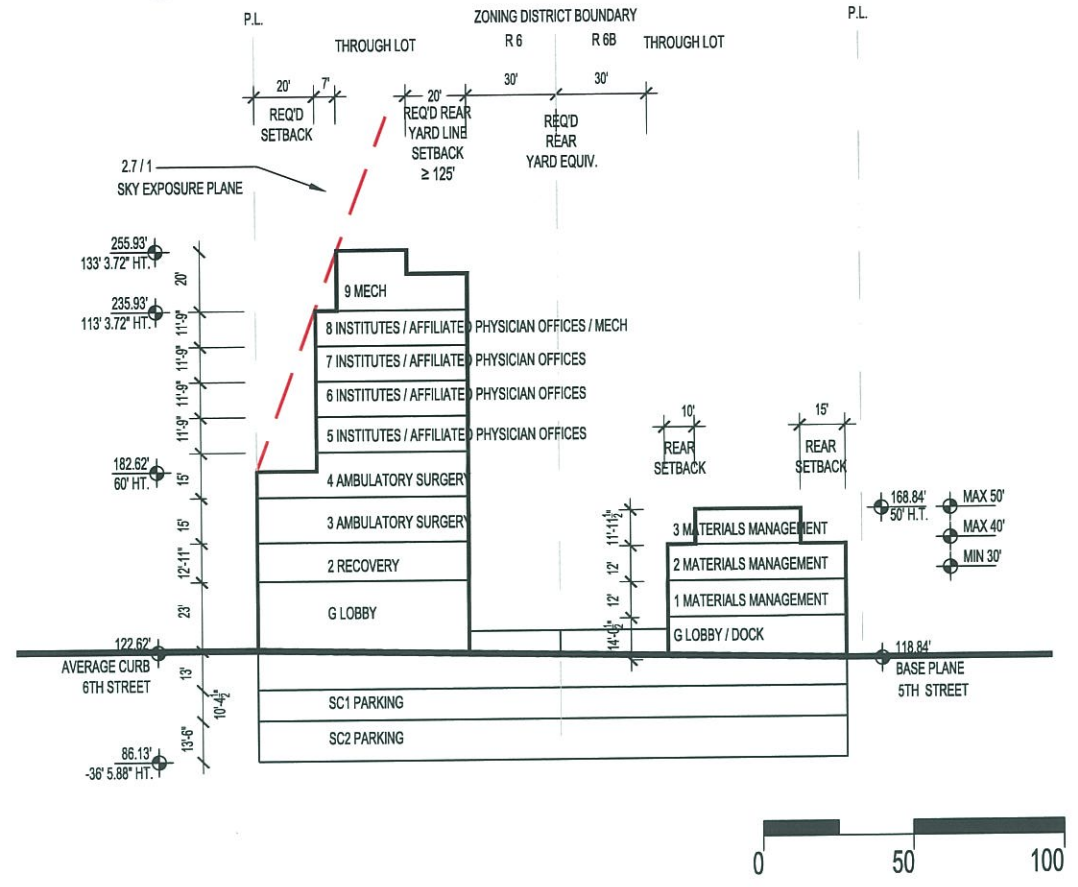
BSA Cal. No. 289-13-BZ



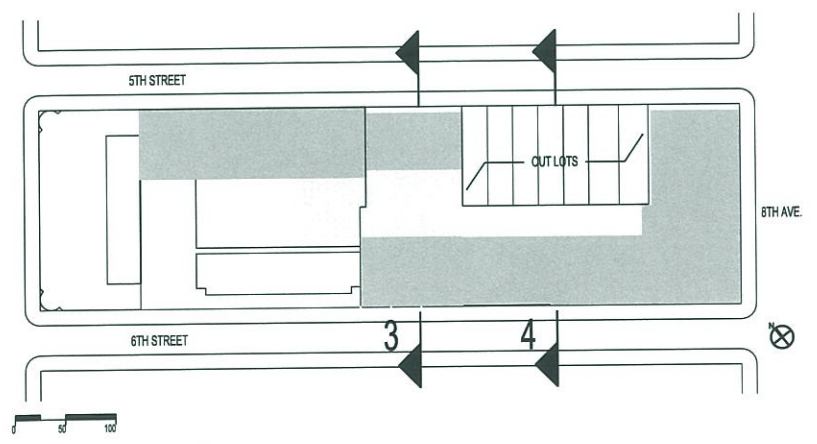
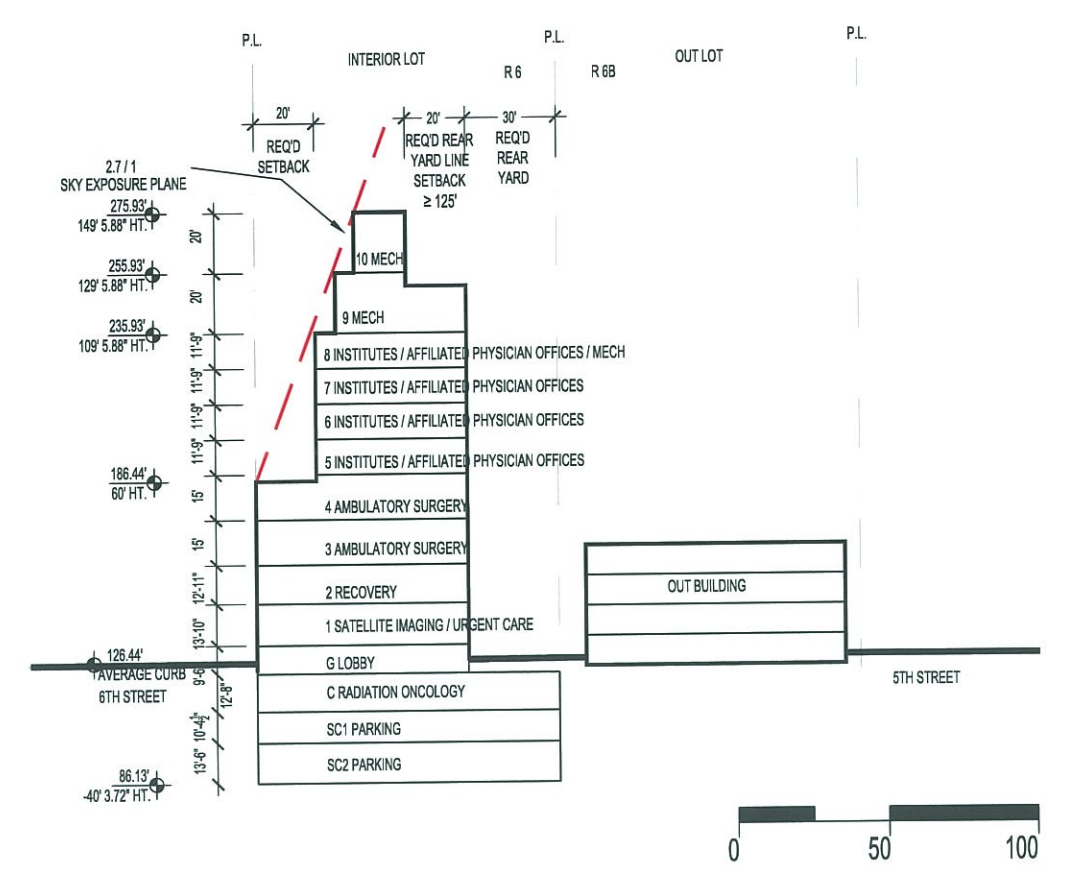
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Section:
Rear Yard / Height and
Setback Z-29
 Scale: 1" = 64"

3 THROUGH LOT B: R6 / R6B



4 INTERIOR LOT: R6



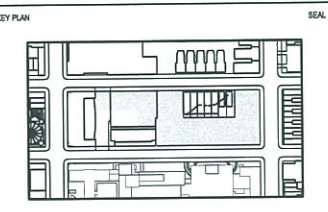
KEY SCALE 1" = 192'
 --- SKY EXPOSURE PLANE

The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL, 506 6th St.
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave.

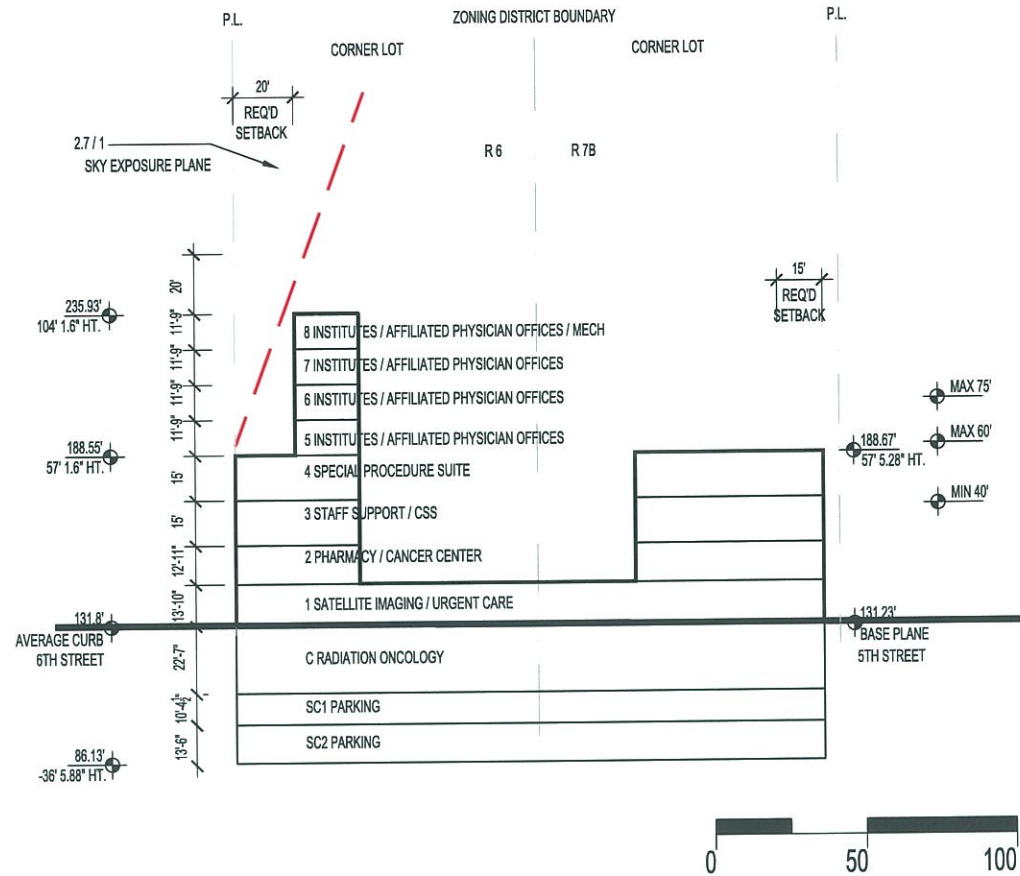
BSA Cal. No. 289-13-BZ



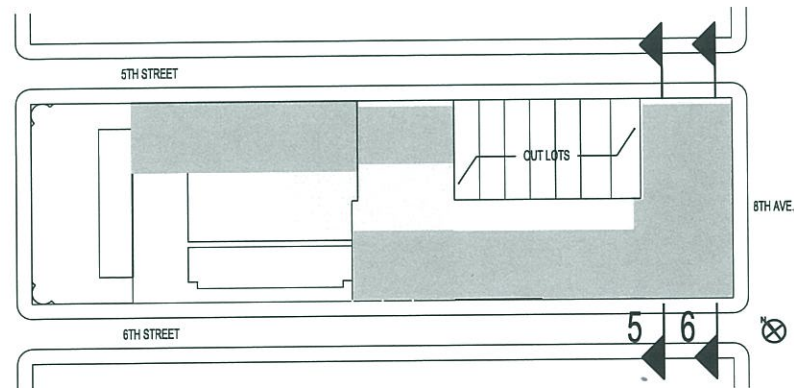
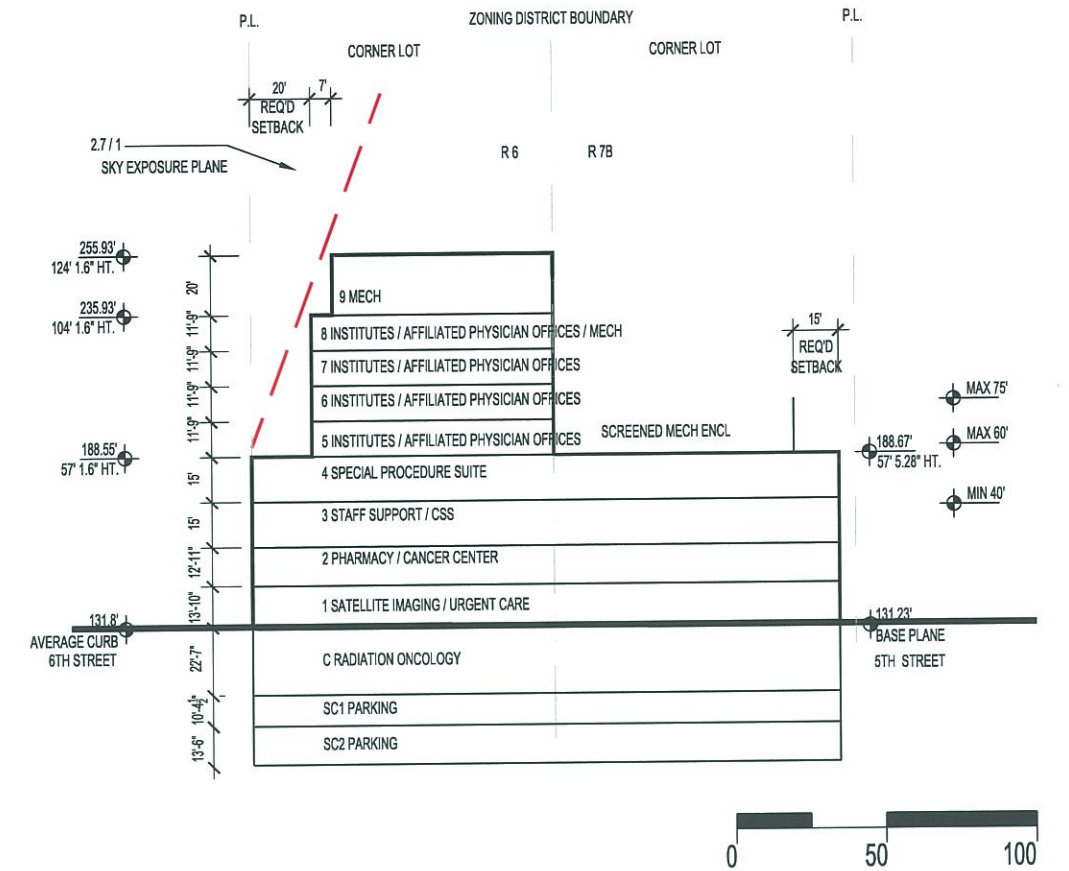
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Sections
Rear Yards / Height and
Setback Z-30
 Scale: 1" = 64"

5 CORNER LOTS C & D: R6 / R7B



6 CORNER LOTS C & D: R6 / R7B

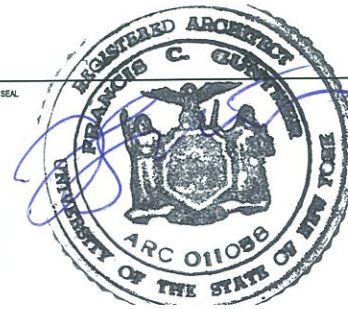
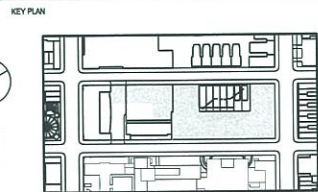


KEY SCALE 1" = 192'
 --- SKY EXPOSURE PLANE

The Center for Community Health

541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL
 ARCHITECT: PERKINS EASTMAN
 506 6th St. 115 5th Ave.
 New York, NY 10009

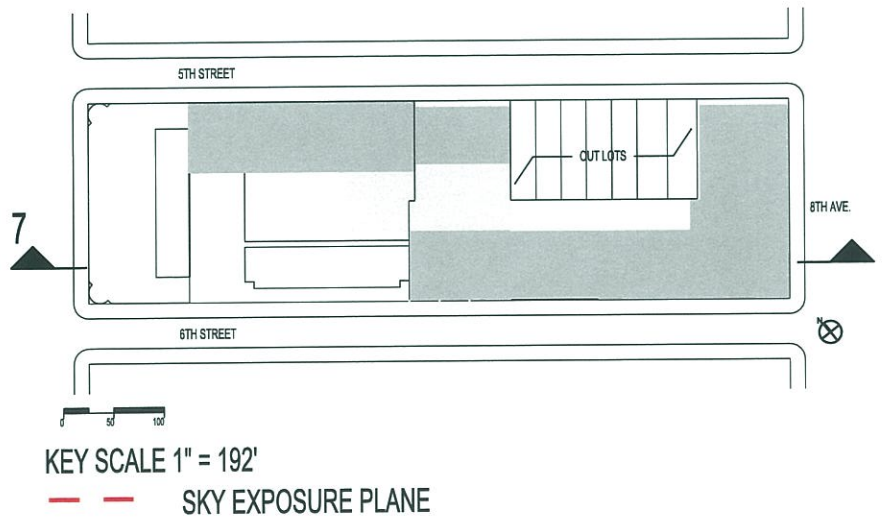
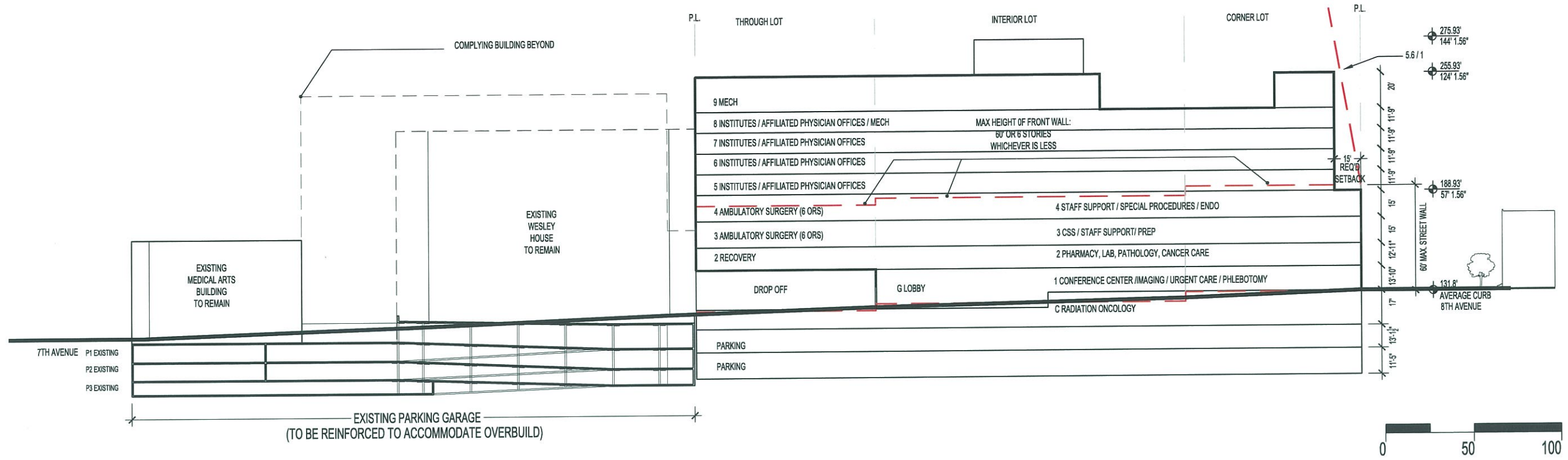
BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Sections
 Rear Yards / Height and
 Setback Z-31
 Scale: 1" = 64"

7 CORNER LOT C, INTERIOR LOT, THROUGH LOT B (R6)

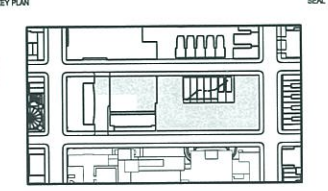


The Center for Community Health
 541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 New York, NY 10015

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ



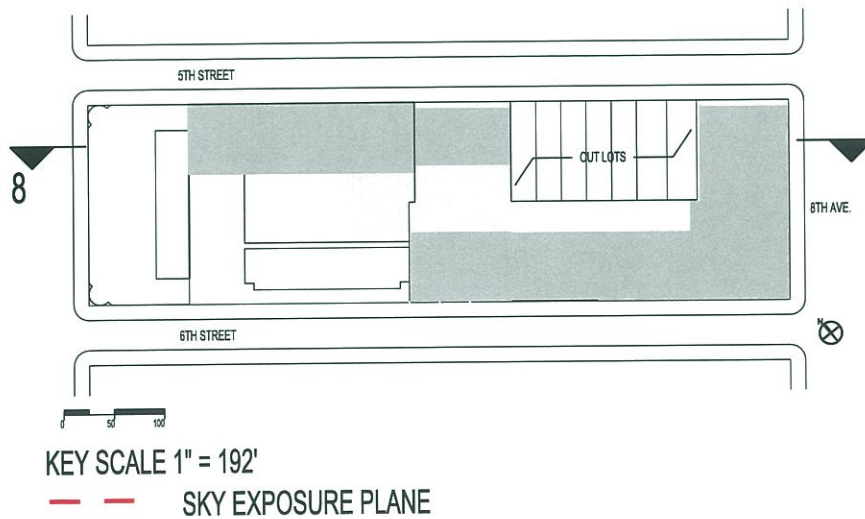
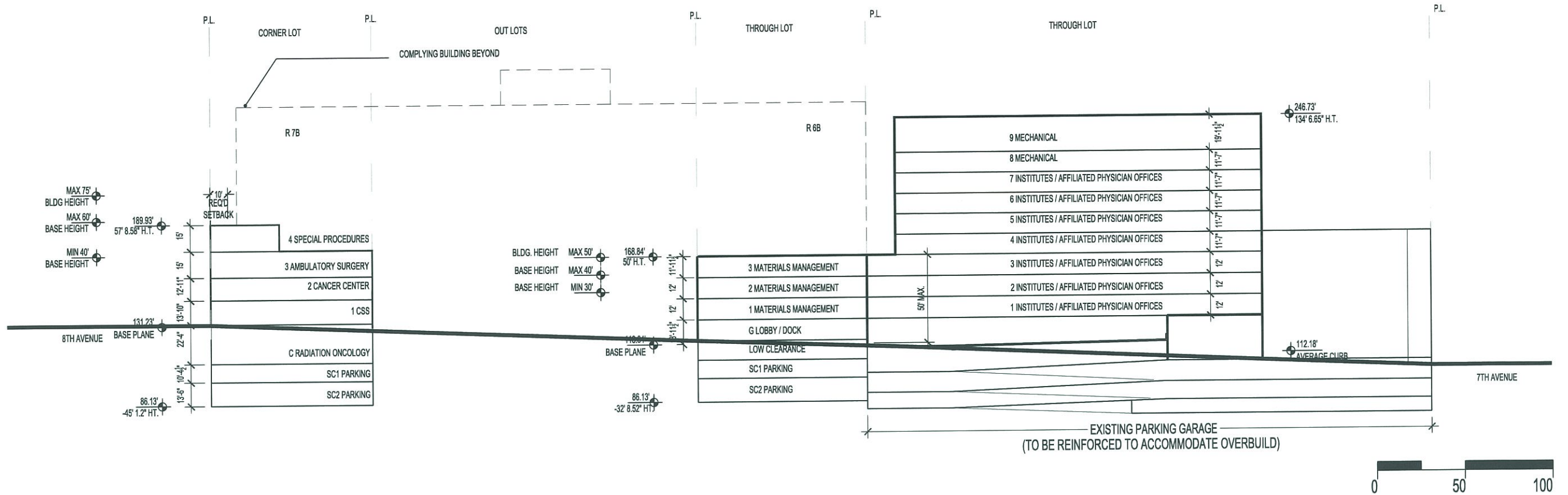
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**COMPLYING Sections
 Height / Setback**

Z-32

Scale: 1" = 64"

8 CORNER LOT D (R7B), THROUGH LOT B (R6B) AND THROUGH LOT A (R6)

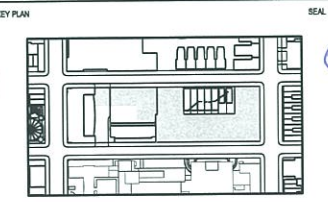


The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ

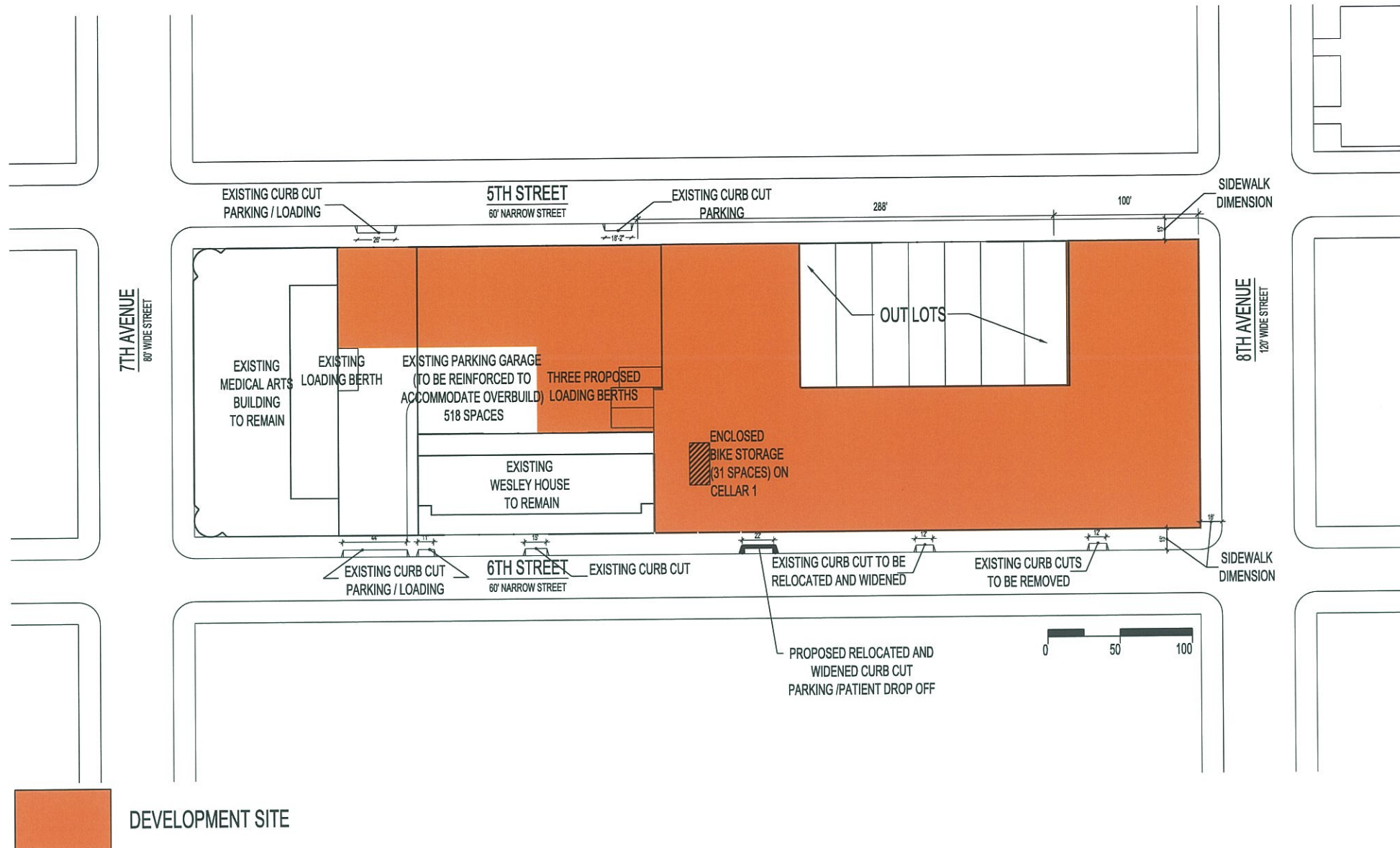


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Sections Height / Setback

Z-33

Scale: 1" = 64"



Off-Street Parking 25-30

- a. Required Accessory Off-Street Parking Spaces for Developments or Enlargements - Use Group 4 Ambulatory Diagnostic or Treatment Health Care Facilities = 1 space per 800 SF of floor area.
 - 339,557 SF (includes non-storage cellar space) / 800 SF = 425
- b. Accessory Off-Street Parking Spaces Proposed
 - Existing parking spaces = 567
 - 518 spaces (see BSA Special Permit, 11 January 1994, Cal. # 142 92-BZ)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 353 permitted parking spaces accessory to hospital related uses
 - 49 required spaces in doctors' lot, accessory to hospital uses on Block 1086
 - Existing to be remain = 478
 - 478 spaces in garage and parking deck (38 spaces to be eliminated)
 - a. 76 required parking spaces accessory to retail
 - b. 49 required parking spaces accessory to Wesley House
 - c. 353 permitted parking spaces accessory to hospital related uses
 - 0 spaces in doctors' lot (to be demolished)
 - Proposed additional spaces = 514
 - 425 required parking spaces accessory to the new development
 - 40 permitted spaces accessory to existing hospital related uses, replacing eliminated spaces in existing garage and parking deck
 - 49 required spaces accessory to existing hospital uses on Block 1086, replacing eliminated spaces in existing doctors' lot (see Z-34) COMPLIES

Location of Access to the Street 25-63 and 25-631

- a. Permitted: 1 curb cut per street frontage of zoning lot maximum width of 22'
- b. Curb Cuts
 - 6th Street: 6 existing and 1 to be relocated
2 to be removed
 - Provided: 4 curb cuts COMPLIES
 - 5th Street: 2 existing
 - (see BSA Special Permit, 11 January 1994, Cal. # 142 92-BZ)
 - Provided: 2 curb cuts COMPLIES

Accessory Off-Street Loading Berths 25-72

Location of Access to the Street 25-75

- a. Accessory Off-Street Loading Berths Required for Developments or Enlargements - Use Group 4 Ambulatory Diagnostic or Treatment Health Care Facilities = None
- b. Accessory Off-Street Loading Berths Proposed
 - Existing loading berths = 2
 - Proposed additional loading berths = 3
- c. Loading Curb Cuts
 - Not permitted within 50 ft. of an intersection of any two street lines.
 - COMPLIES

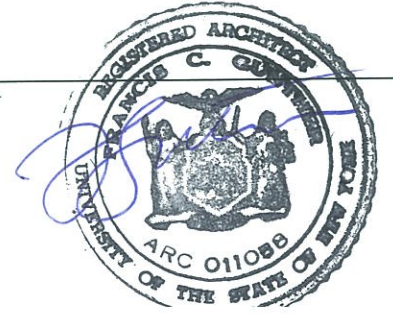
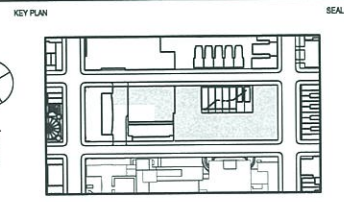
Bicycle Parking 25-80, 25-83

- a. Enclosed Accessory Bicycle Parking Spaces Required
 - 1 per 10,000 SF of floor area, 15 SF per space
 - 309,519 SF / 10,000 SF = 31 spaces, 465 SF
- b. Accessory Bicycle Parking Space Provided
 - Proposed Enclosed Spaces = 31 spaces, 465 SF
 - COMPLIES

The Center for Community Health

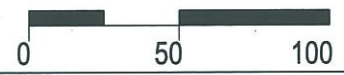
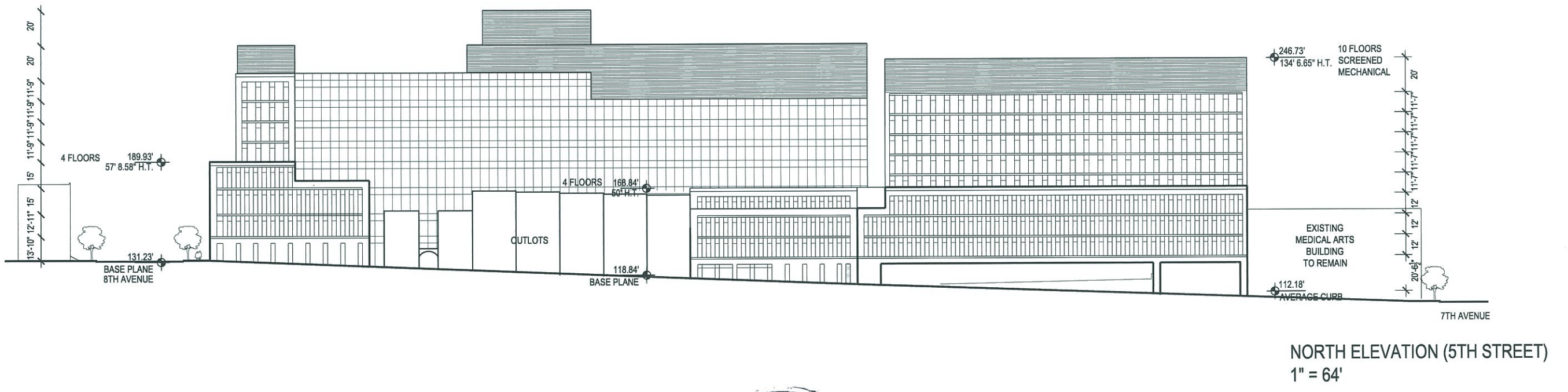
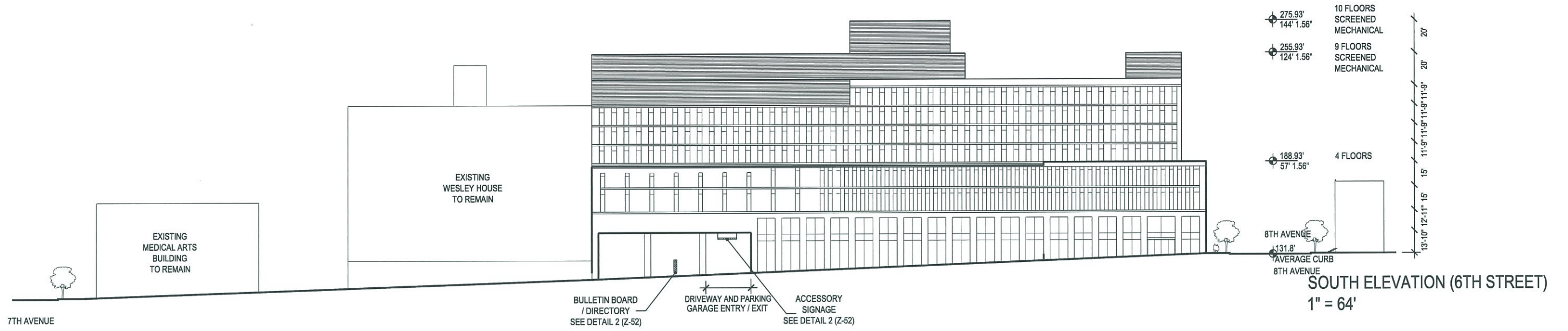
541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL, 506 6th St., New York, NY 10015
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave., New York, NY 10003

BSA Cal. No. 289-13-BZ



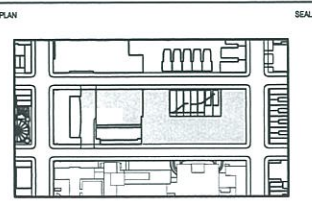
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
Loading Berths/Parking
Curb Cuts Z-34
 Scale: 1" = 64"



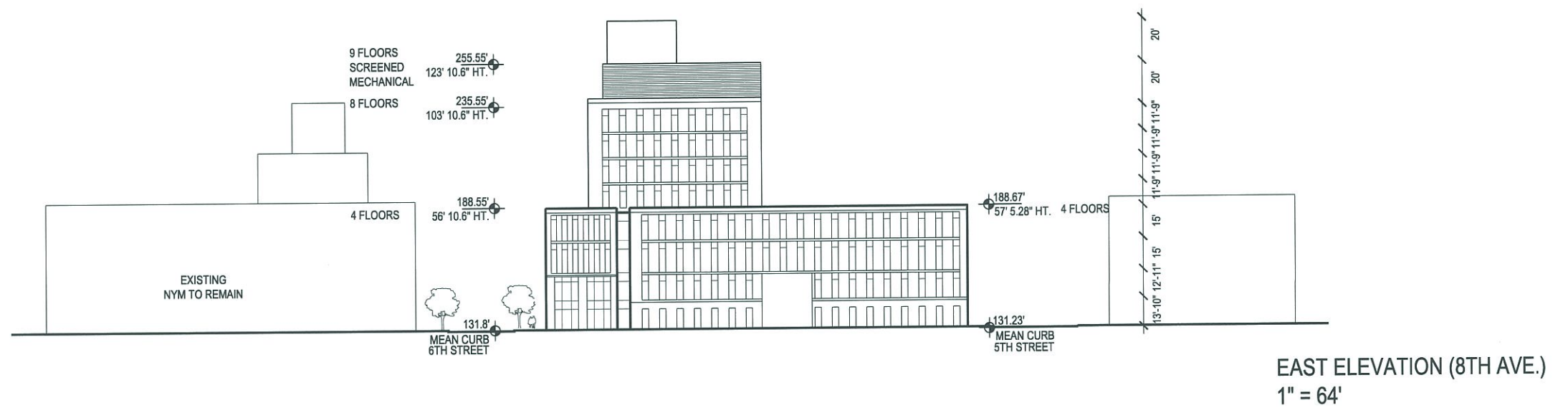
ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL, 506 6th St. Brooklyn, NY 11215
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave. New York, NY 10003
 BSA Cal. No. 289-13-BZ



No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Elevations
North/South Z-35
 Scale: As Noted



ELEVATIONS FOR ILLUSTRATIVE PURPOSES ONLY

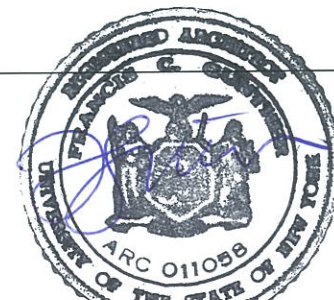
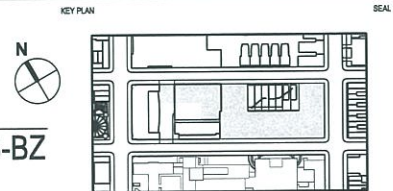
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St. Brooklyn, NY 11215

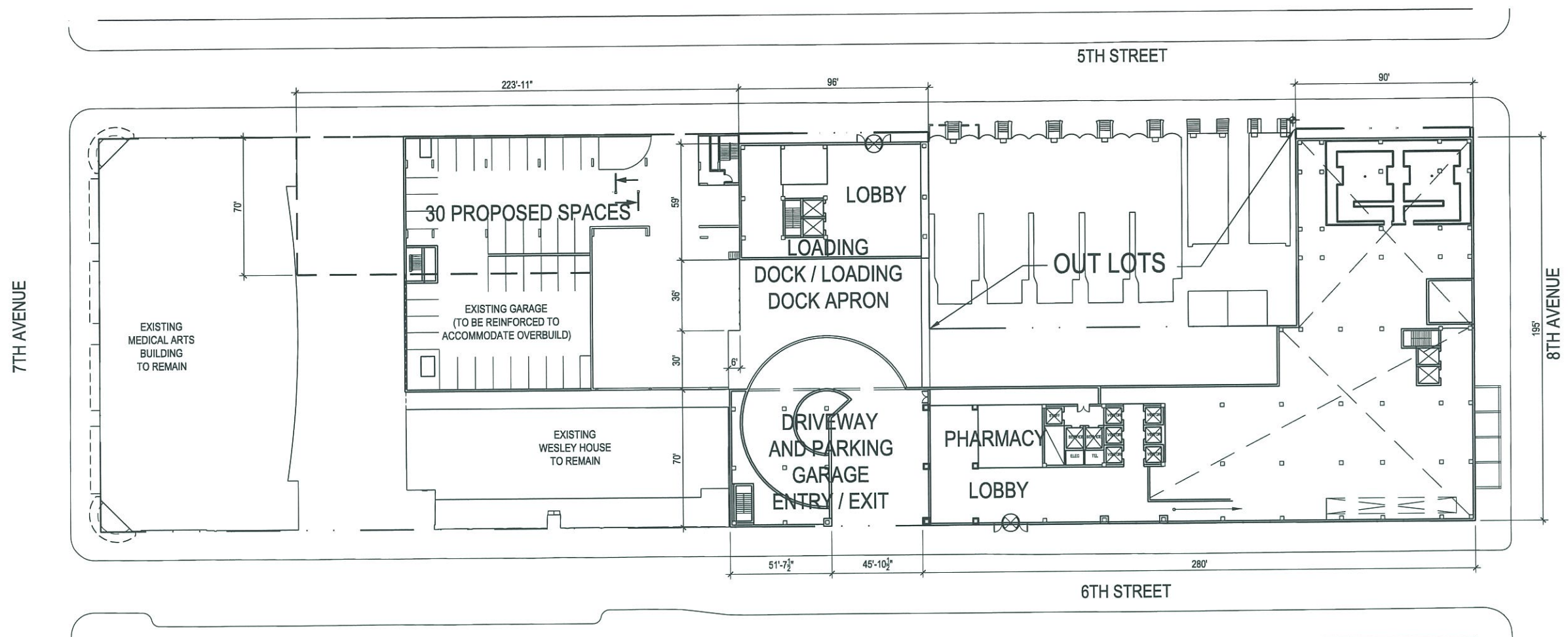
ARCHITECT: PERKINS EASTMAN
 115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING Elevations
South / East Z-36
 Scale: As Noted



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATE JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON GALLAS SURVEYING GROUP DRAWING G13052 DATED 04-30-2013

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOI
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

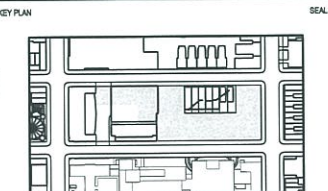
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 New York, NY 11215

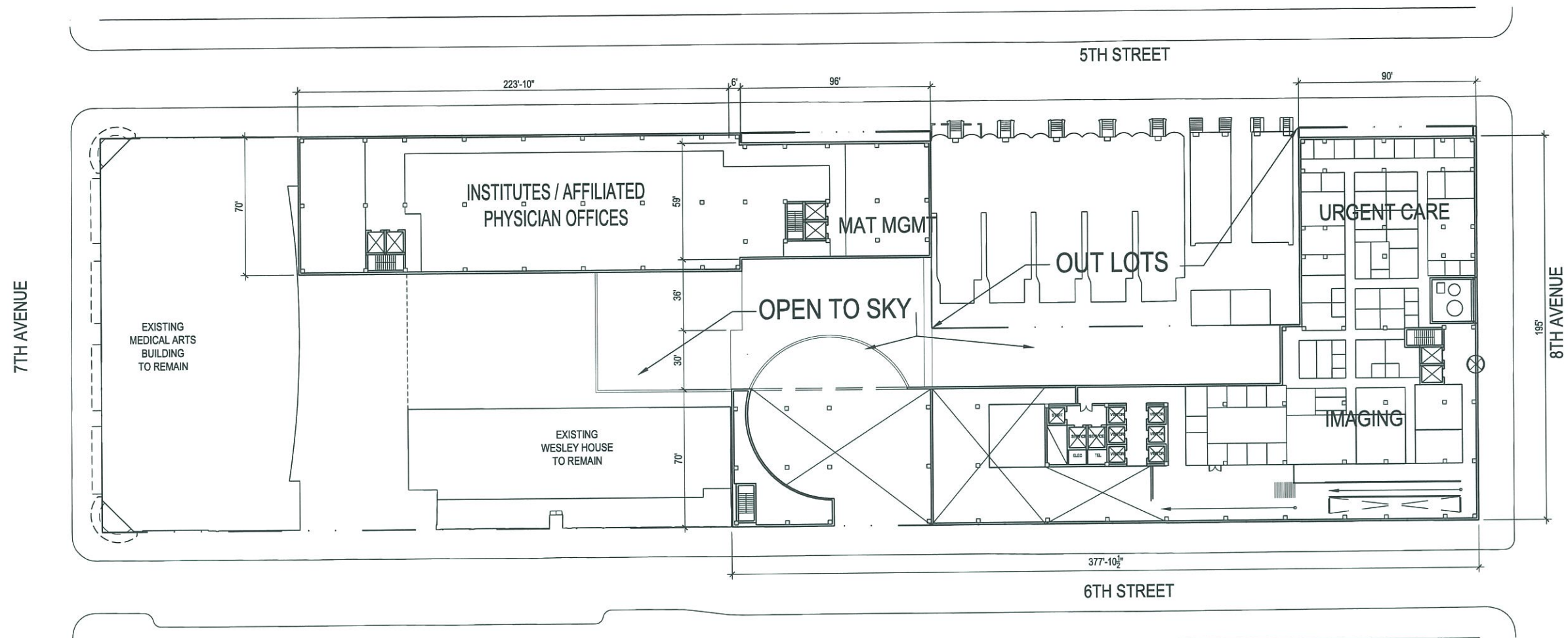
ARCHITECT: PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
Ground
Floor Plan Z-37
 Scale: 1" = 64"



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

PROJECT TITLE

The Center for Community Health

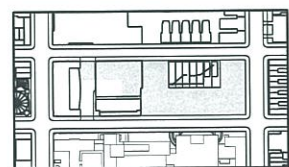
541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.
 New York, NY 11215

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ

KEY PLAN



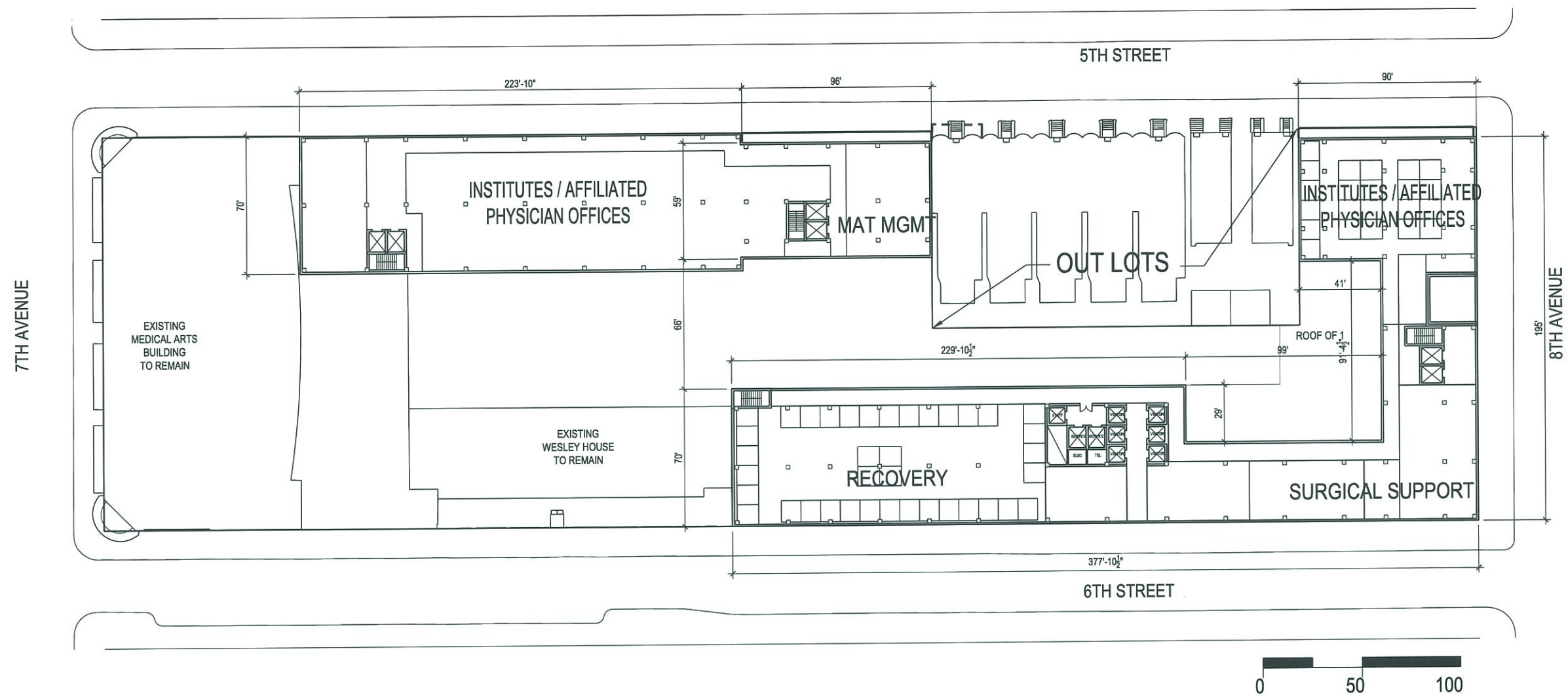
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING

First

Floor Plan Z-38

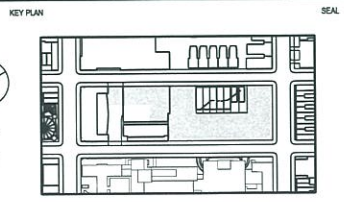
Scale: 1" = 64"



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

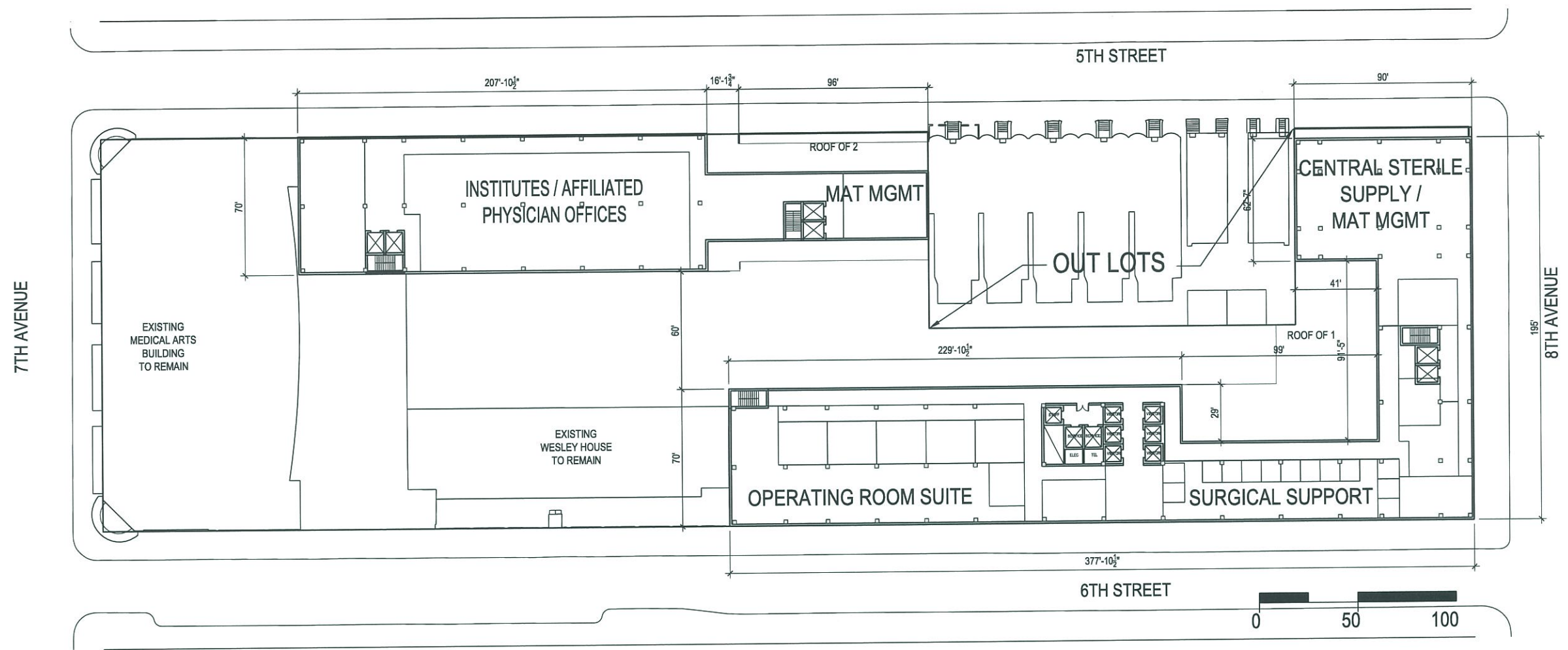
PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 New York, NY 11215
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ



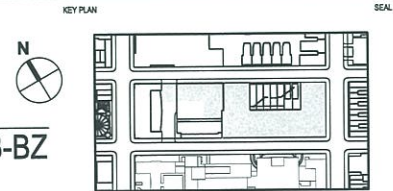
No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
 2nd
 Floor Plan Z-39
 Scale: 1" = 64"



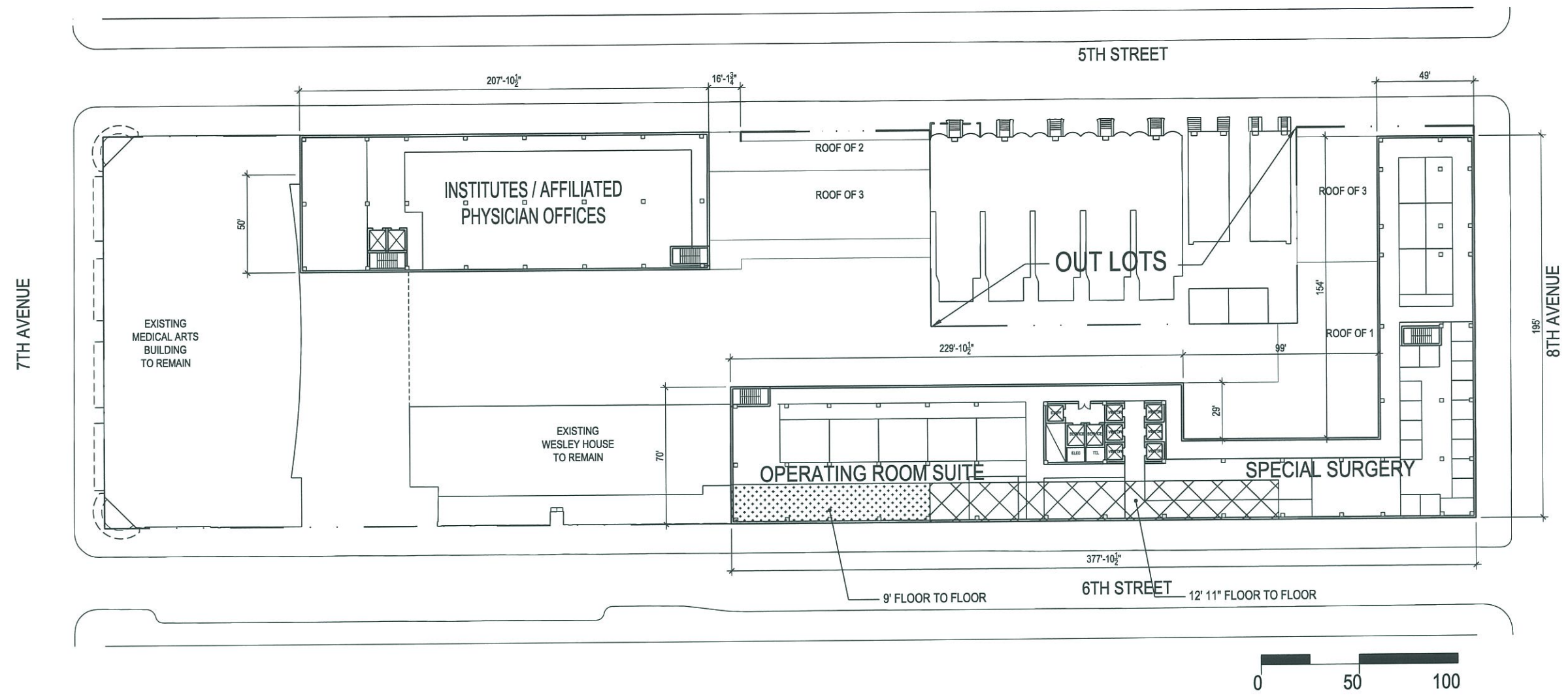
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 Brooklyn, NY 11215
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003
 BSA Cal. No. 289-13-BZ



No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
 3rd
 Floor Plan Z-40
 Scale: 1" = 64"



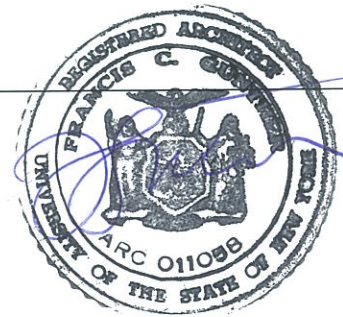
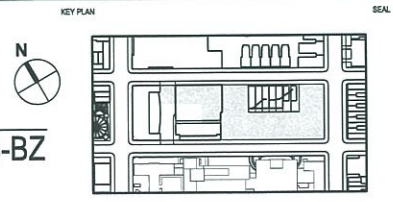
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY
 COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL
 BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215

OWNER
 NYM HOSPITAL
 506 6th St.
 Brooklyn, NY 11215

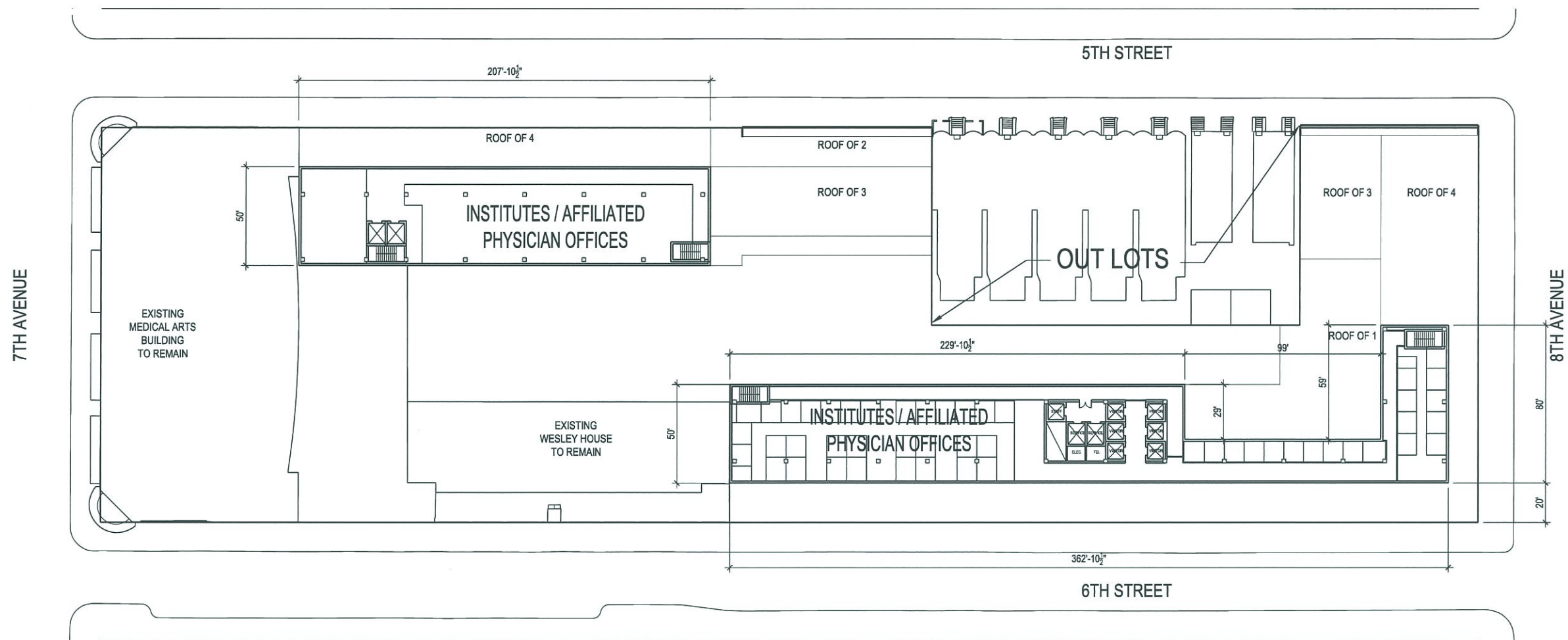
ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
4th
Floor Plan Z-41
 Scale: 1" = 64"

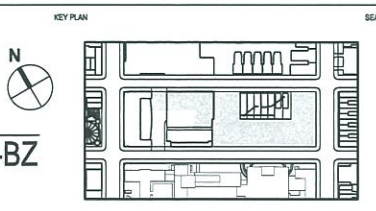


NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

The Center for Community Health

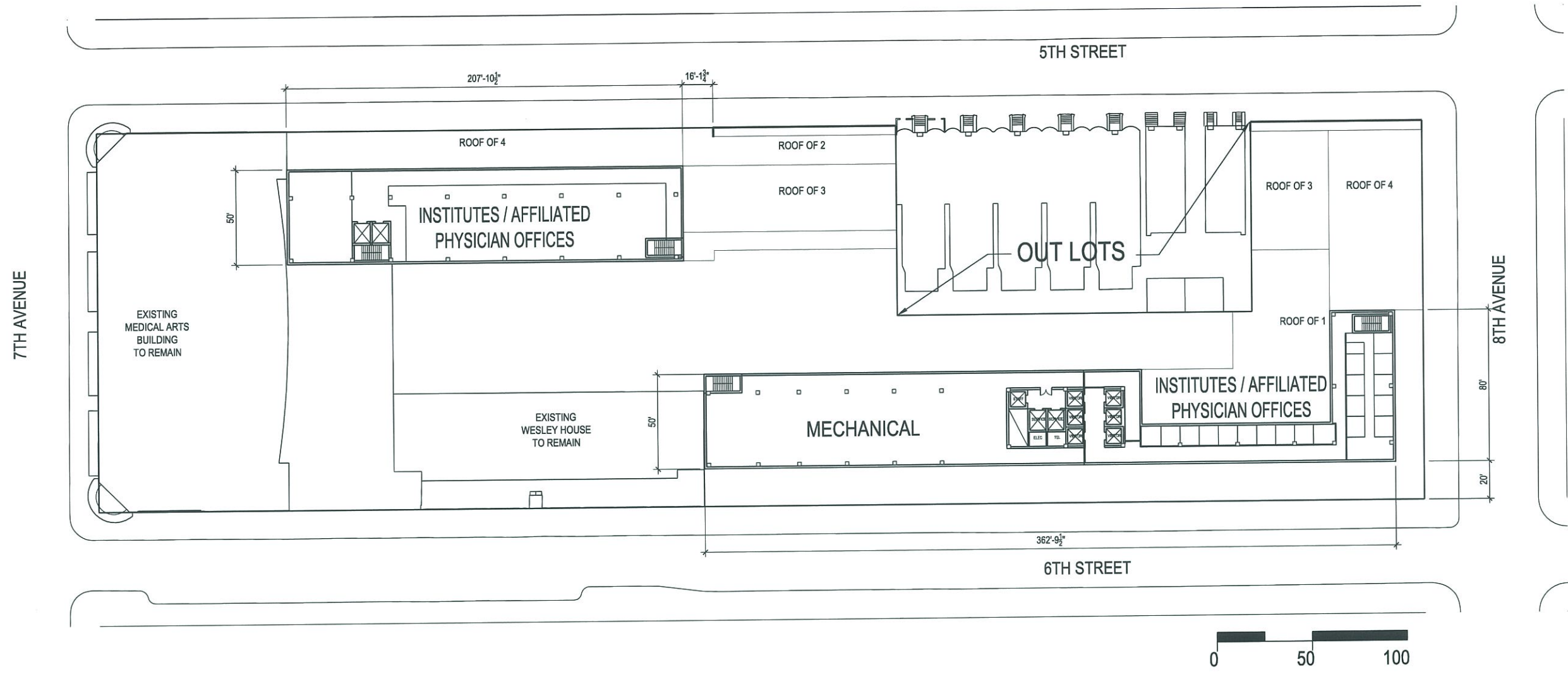
541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL
 506 6th St. Brooklyn, NY 11215
 ARCHITECT: PERKINS EASTMAN
 115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

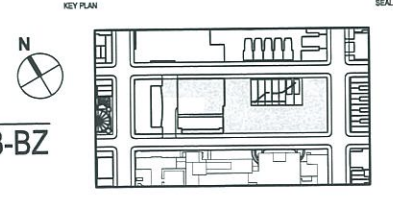
COMPLYING
 5th - 7th
Floor Plan Z-42
 Scale: 1" = 64"



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.

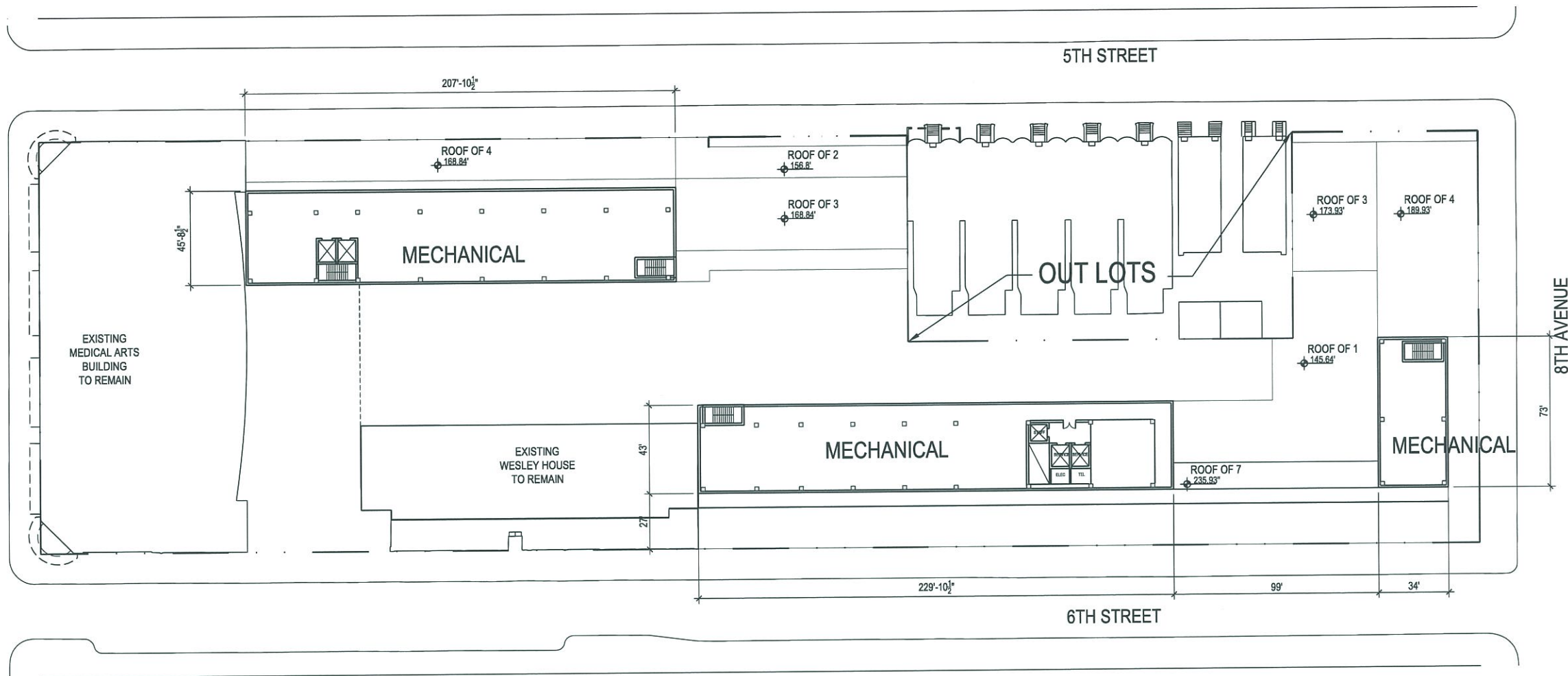
BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
 8th
Floor Plan Z-43
 Scale: 1" = 64"

7TH AVENUE



8TH AVENUE

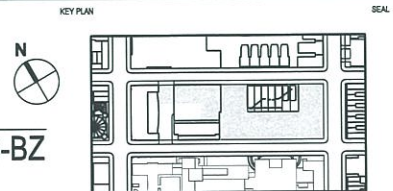
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY
 COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL
 BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215

OWNER
 NYM HOSPITAL
 506 6th St.
 Brooklyn, NY 11215

ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 New York, NY 10003

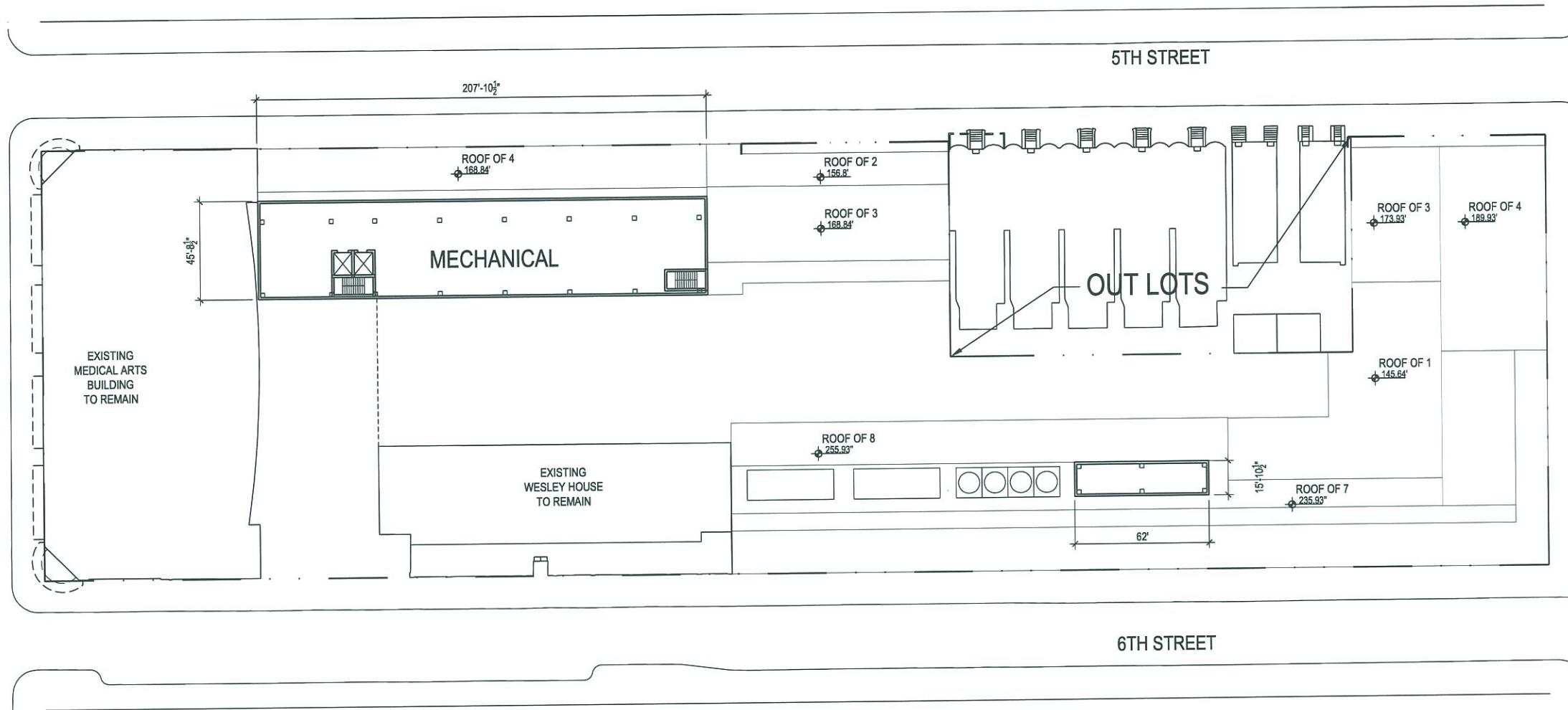
BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

COMPLYING
 9th
 Floor Plan Z-44
 Scale: 1" = 64"

7TH AVENUE



8TH AVENUE

6TH STREET



NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY
 COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL
 BE APPROVED BY DOB

PROJECT TITLE

The Center for Community Health

541 6th St. Brooklyn, NY 11215

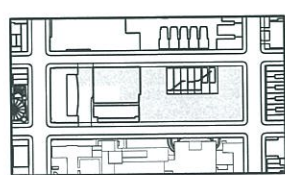
OWNER
NYM HOSPITAL
506 6th St.

ARCHITECT
PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



KEY PLAN



SEAL



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

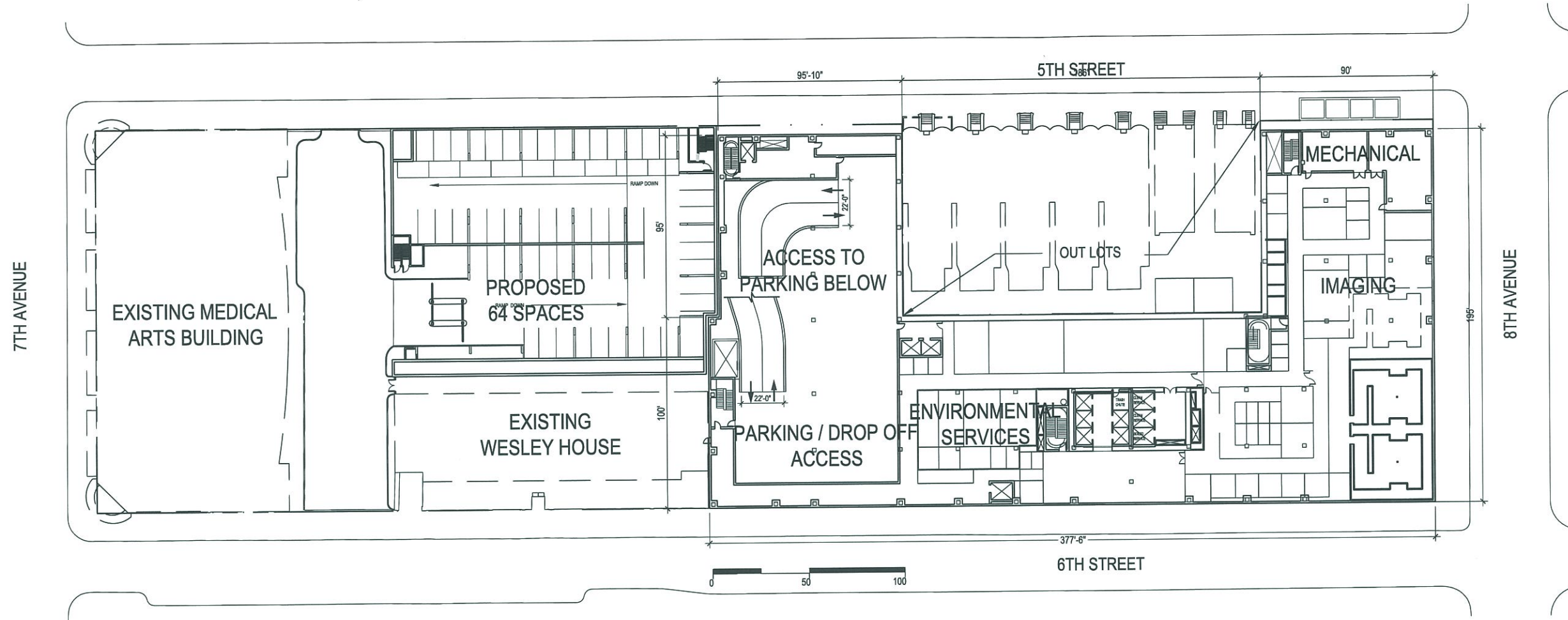
COMPLYING

10th/Mech

Floor Plan

Scale: 1" = 64"

Z-45



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-4 DATED 05-06-97

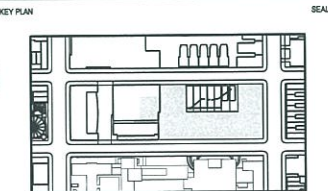
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOB -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

The Center for Community Health

541 6th St. Brooklyn, NY 11215

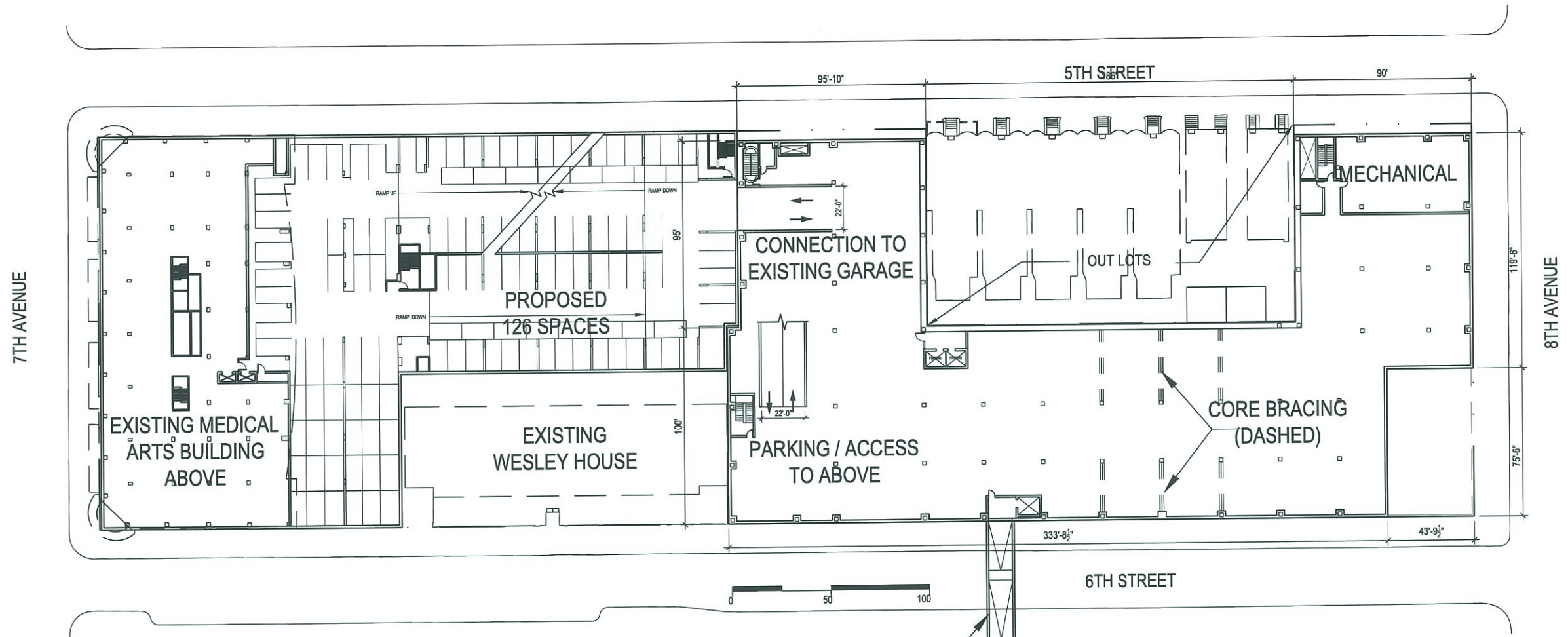
OWNER: NYM HOSPITAL, 506 6th St., New York, NY 10015
 ARCHITECT: PERKINS EASTMAN, 115 5th Ave., New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
Cellar
Floor Plan Z-46**
Scale: 1" = 64'



UTILITY / PEDESTRIAN TUNNEL BELOW STREET SUBJECT TO DOT APPROVAL OF REVOCABLE CONSENT

NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-3 DATED 06-12-96

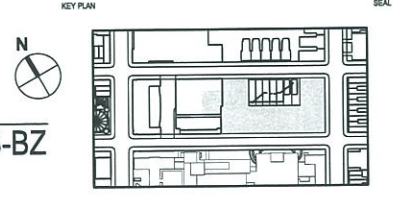
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE

-MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

The Center for Community Health

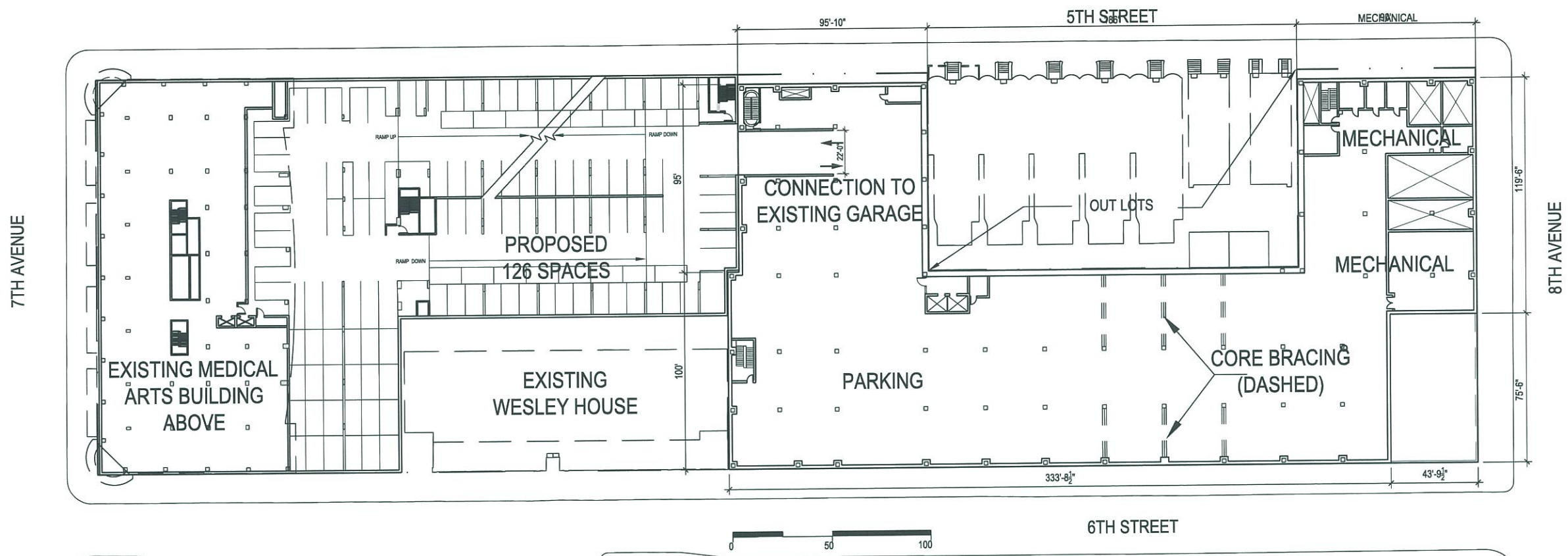
541 6th St. Brooklyn, NY 11215
 OWNER: NYM HOSPITAL 506 6th St.
 ARCHITECT: PERKINS EASTMAN 115 5th Ave.

BSA Cal. No. 289-13-BZ



No	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

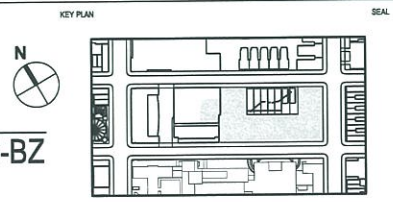
**Proposed
 Parking Level 1
 Floor Plan Z-47**
 Scale: 1" = 64'



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATED JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED. CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-2 DATED 02-26-97

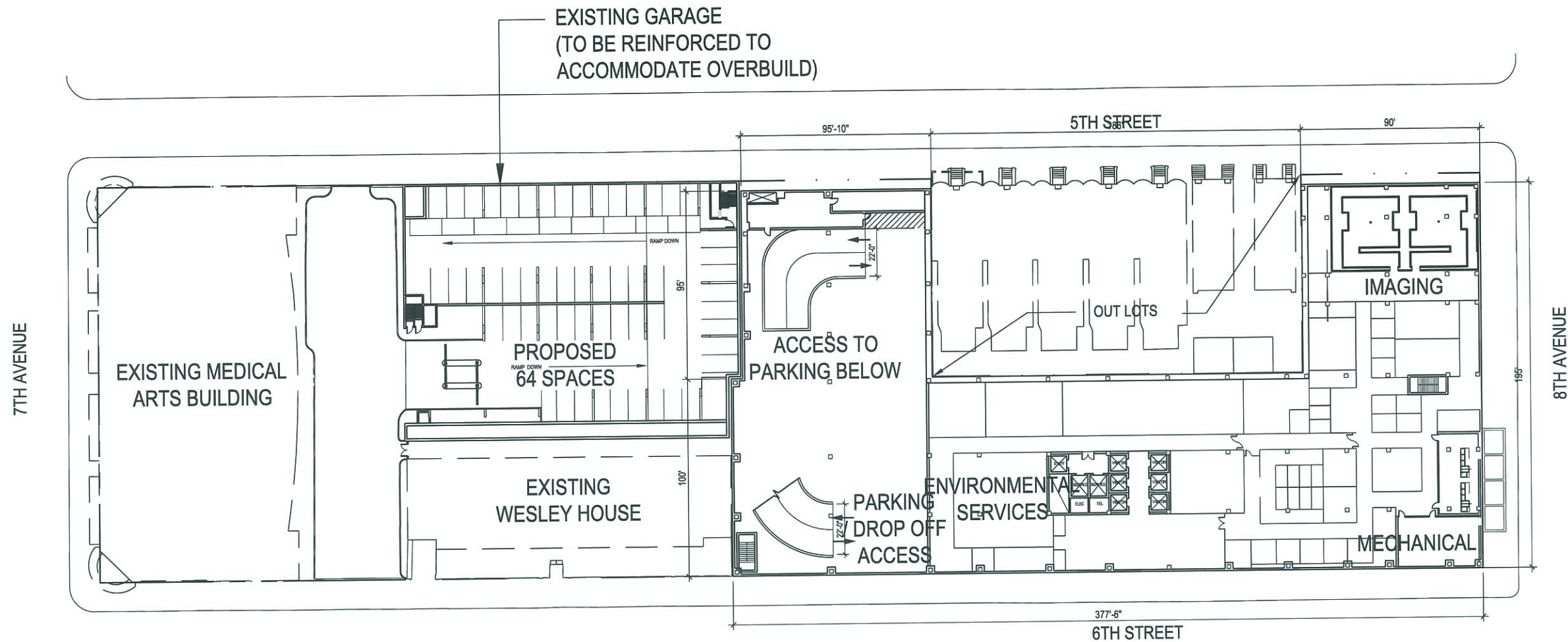
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Proposed
 Parking Level 2
 Floor Plan Z-48**
 Scale: 1" = 64'



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATE JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-4 DATED 05-06-97

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOI
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

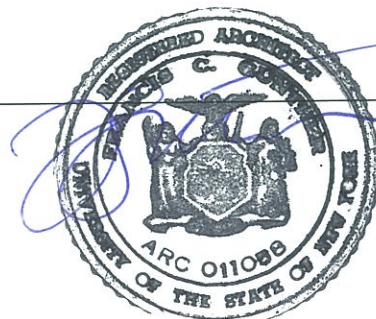
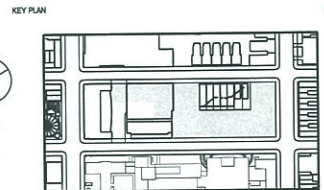
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St.

ARCHITECT: PERKINS EASTMAN
 115 5th Ave.

BSA Cal. No. 289-13-BZ

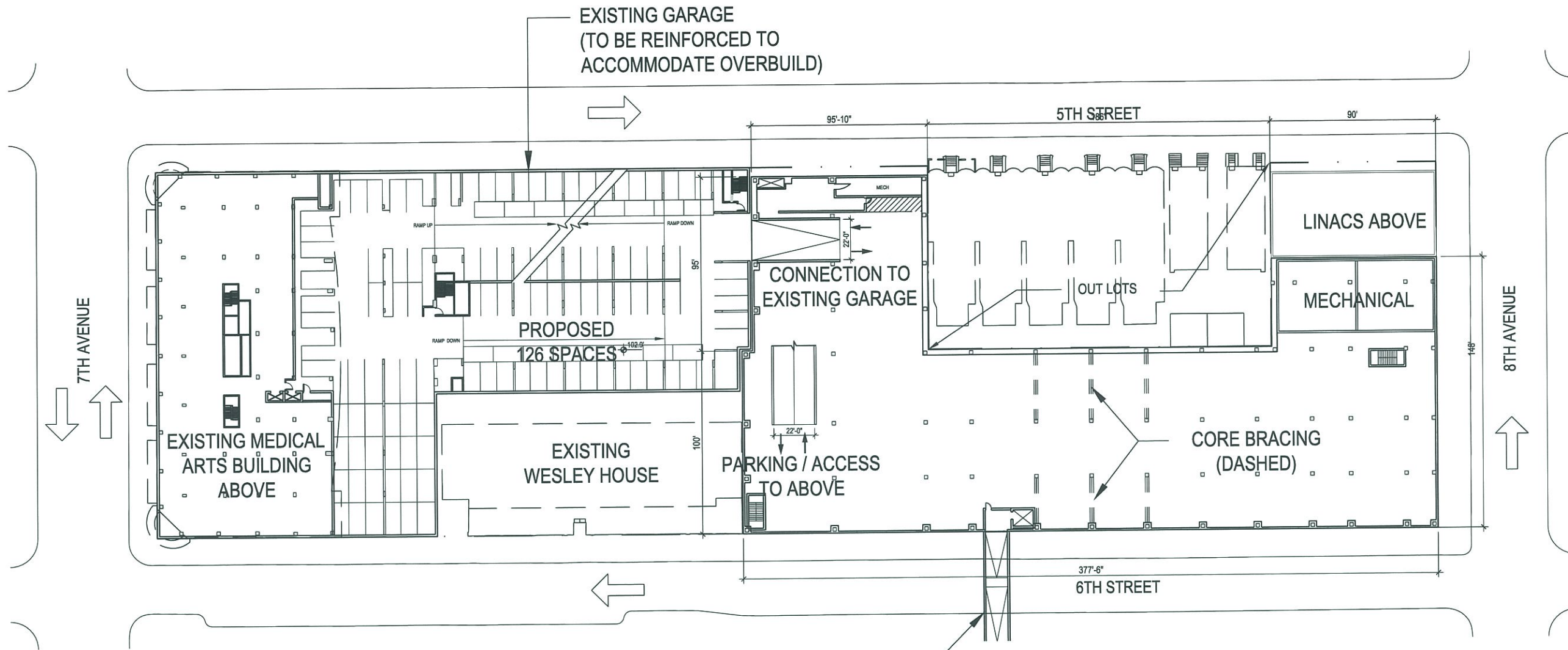


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Complying
Cellar**

Floor Plan Z-49

Scale: 1" = 64'



UTILITY / PEDESTRIAN TUNNEL BELOW STREET SUBJECT TO DOT APPROVAL OF REVOCABLE CONSENT



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATE JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-3 DATED 06-12-96

NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

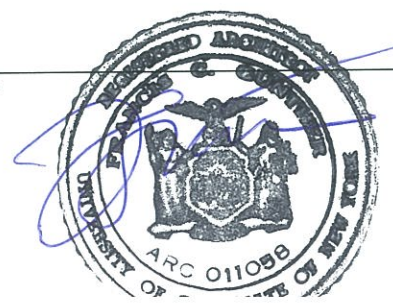
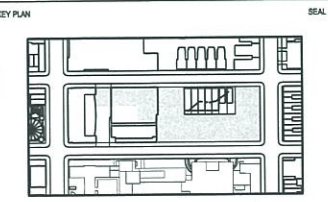
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
 506 6th St. New York, NY 10009

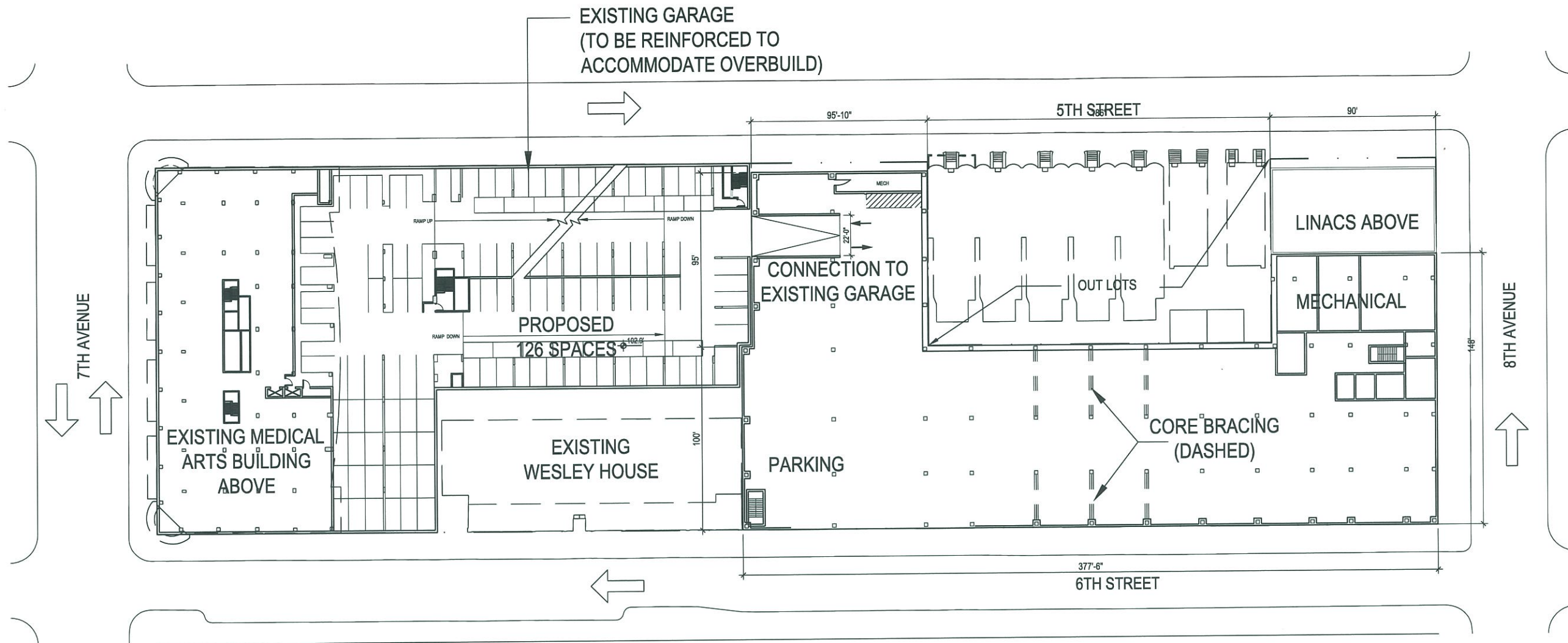
ARCHITECT: PERKINS EASTMAN
 115 5th Ave. New York, NY 10003

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

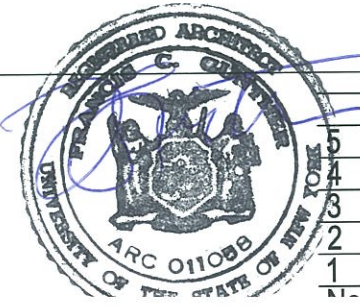
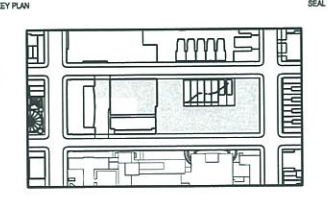
Complying
Parking Level 1
Floor Plan Z-50
 Scale: 1" = 64'



NOTE : -EXISTING GARAGE SUBJECT TO BSA SPECIAL PERMIT, DATE JANUARY 11, 1994 (CAL. NO. 142-92-BZ), AS HEREIN MODIFIED CONDITIONS OF EXISTING GARAGE, TO THE EXTENT NOT MODIFIED AS PROPOSED, ARE BASED ON SOM DRAWING NUMBER A-2 DATED 02-26-97

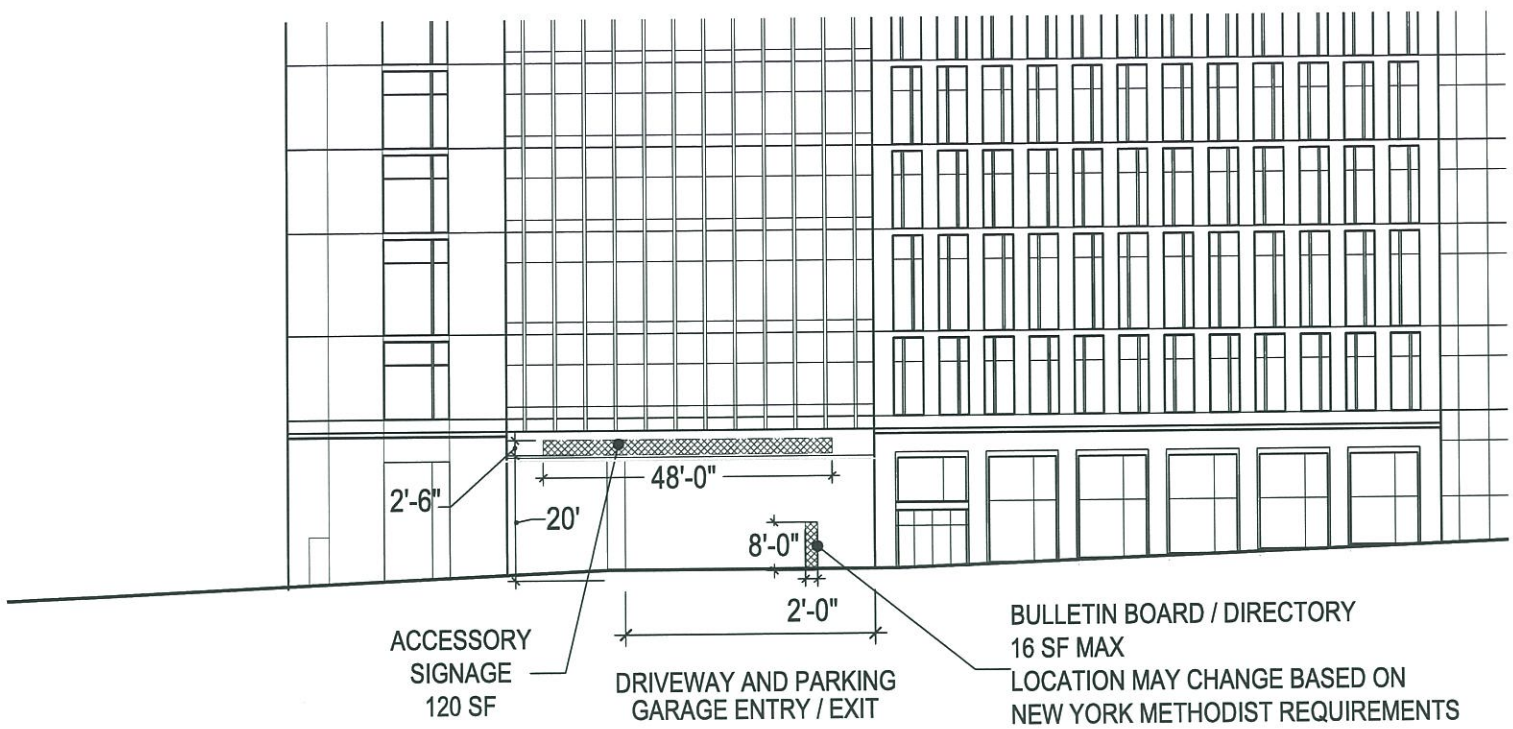
NOTE : -INTERIOR LAYOUTS AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE APPROVED BY DOE
 -MAXIMUM OCCUPANT LOAD PER FLOOR / SPACE SHALL BE APPROVED BY DOB

PROJECT TITLE
The Center for Community Health
 541 6th St. Brooklyn, NY 11215
 OWNER
 NYM HOSPITAL
 506 6th St.
 ARCHITECT
 PERKINS EASTMAN
 115 5th Ave.
 BSA Cal. No. 289-13-BZ

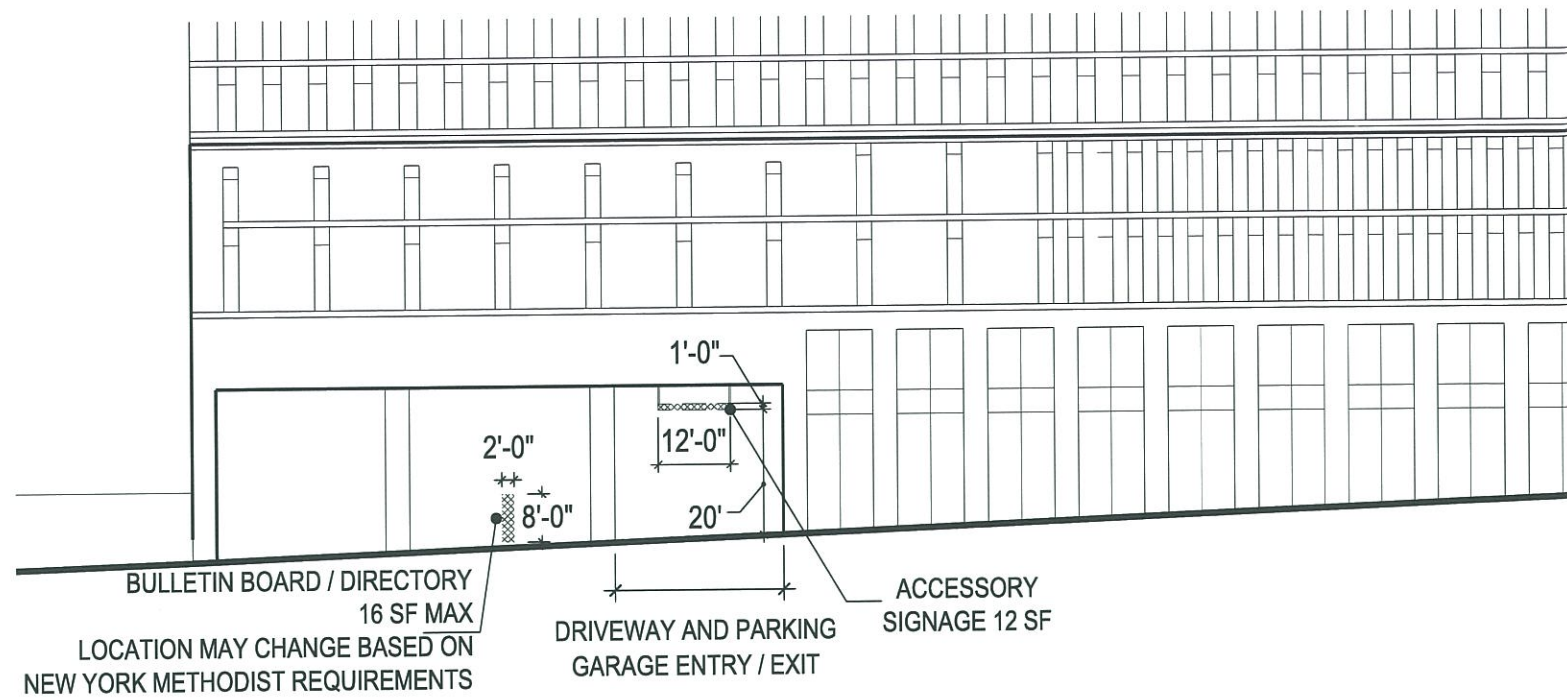


No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

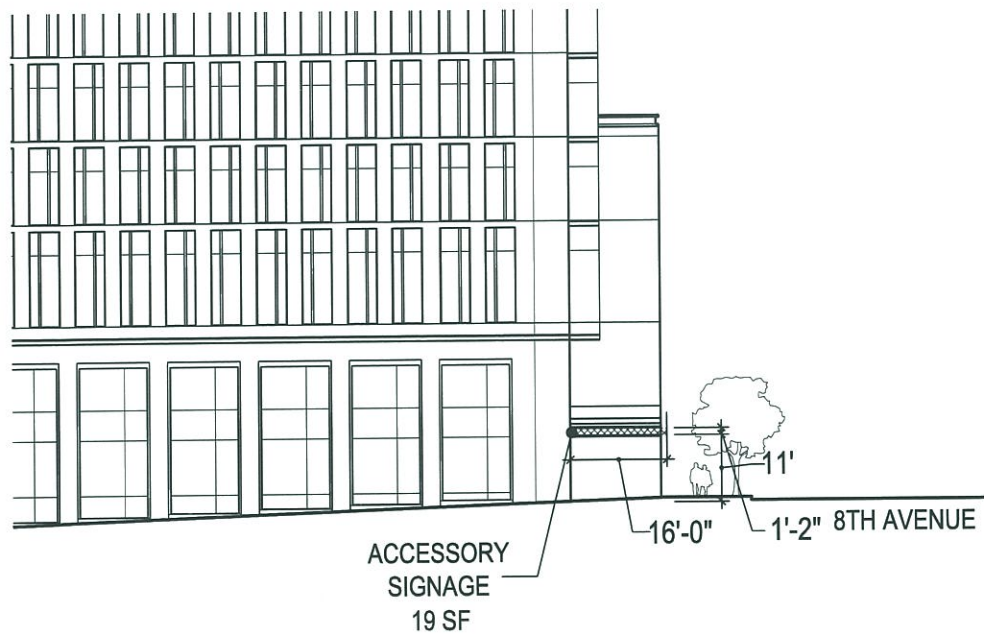
Complying
Parking Level 2
Floor Plan Z-51
 Scale: 1" = 64'



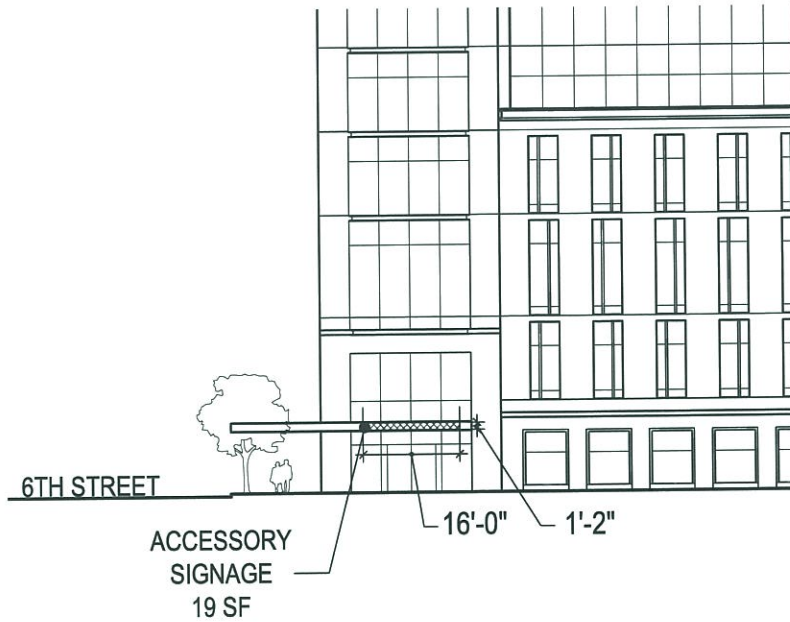
DETAIL 1 SOUTH ELEVATION (6TH STREET)
PROPOSED



DETAIL 2 SOUTH ELEVATION (6TH STREET)
COMPLYING



DETAIL 3 SOUTH ELEVATION (6TH STREET)
PROPOSED

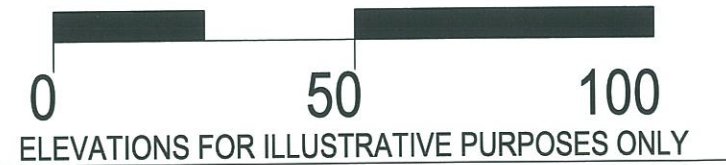
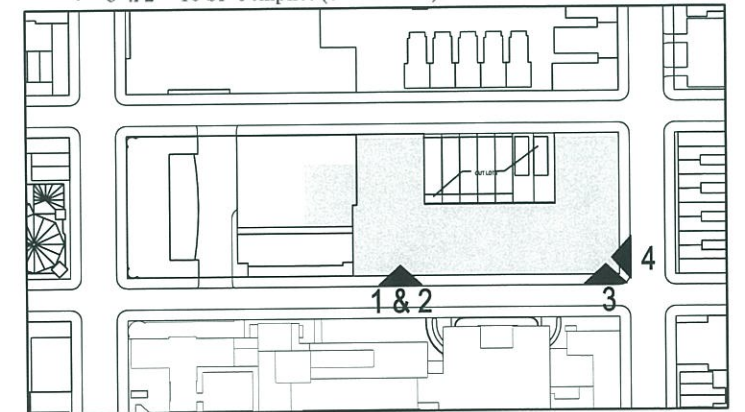


DETAIL 4 EAST ELEVATION (8TH AVENUE)
PROPOSED

22-321

Signs Regulations

- a. Signage for non-residential buildings is limited to one identification sign no greater than 12 SF. Bulletin board, not exceeding 16 SF, is permitted
- b. Identification Sign Proposed
 - 48' x 2'-6" = 120 SF
DOES NOT COMPLY : Requires Board of Standards and Appeals waiver or modification (See Detail 1)
 - 11' x 1'-2" = 19 SF
DOES NOT COMPLY : Requires Board of Standards and Appeals waiver or modification (See Detail 3)
 - 11' x 1'-2" = 19 SF
DOES NOT COMPLY : Requires Board of Standards and Appeals waiver or modification (See Detail 4)
- c. Bulletin Board Proposed
 - 8' x 2' = 16 SF Complies (See Detail 1)



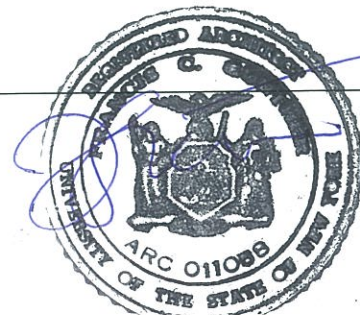
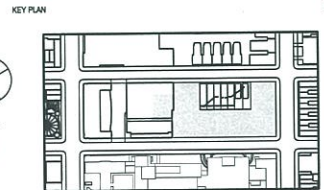
The Center for Community Health

541 6th St. Brooklyn, NY 11215

OWNER: NYM HOSPITAL
506 6th St.

ARCHITECT: PERKINS EASTMAN
115 5th Ave.

BSA Cal. No. 289-13-BZ



No.	Issue Name	Date
5	Amended BSA Application Set	04-22-2014
4	Amended BSA Application Set	03-04-2014
3	Amended BSA Application Set	01-28-2014
2	Response to BSA Notice of Comments	12-10-2013
1	BSA Application Set	10-16-2013

**Comparison
Elevation Details**

Z-52

Scale: 1" = 32'